

Public Document Pack
SOUTHEND-ON-SEA BOROUGH COUNCIL

Development Control Committee

Date: Wednesday, 13th December, 2017

Time: 2.00 pm

Place: Committee Room 1 - Civic Suite

Contact: Tim Row - Principal Democratic Services Officer

Email: committeesection@southend.gov.uk

A G E N D A

1 Apologies for Absence

2 Declarations of Interest

3 Supplementary Report
To follow

**** **Introduction**

**** **Reports on Applications with Pre-meeting Site Visits**

**4 17/01306/FULM - St Thomas More High School, Kenilworth Gardens,
Westcliff-on-Sea, Essex, SS0 0BW (Blenheim Park) (Pages 5 - 46)**

**** **Reports on Planning Applications**

**5 17/01574/FULM - The Shore, 22 - 23 The Leas, Westcliff-on-Sea, Essex
(Chalkwell Ward) (Pages 47 - 86)**

**6 17/01716/FUL - The Shore, 22 - 23 The Leas, Westcliff-on-Sea, Essex
(Chalkwell Ward) (Pages 87 - 124)**

**7 17/01560/BC3 - Cliffs Pavilion, Station Road, Westcliff-on-Sea, Essex,
SS0 7RA (Milton Ward) (Pages 125 - 136)**

**8 17/01914/LBC - The Pier, Western Esplanade, Westcliff-on-Sea, Essex,
SS1 1EE (Milton Ward) (Pages 137 - 160)**

**9 17/01430/FUL - Haydon House, 10 Underwood Square, Leigh-on-Sea,
Essex, SS9 3PB (West Leigh Ward) (Pages 161 - 188)**

**10 17/01708/AMDT - 22A Woodfield Gardens, Leigh-on-Sea, Essex, SS9 1EW
(Leigh Ward) (Pages 189 - 200)**

**11 17/01730/FULH - 71 Marine Parade, Leigh-on-Sea (West Leigh Ward)
(Pages 201 - 224)**

12 17/01857/FULH - 34 Oakleigh Park Drive, Leigh-on-Sea (Leigh Ward)
(Pages 225 - 252)

TO: The Chairman & Members of the Development Control Committee:

Councillor F Waterworth (Chair)

Councillors D Garston (Vice-Chair), B Arscott, B Ayling, M Borton, H Boyd, S Buckley, T Callaghan, N Folkard, J Garston, R Hadley, H McDonald, C Mulroney, D Norman MBE, P Van Looy, C Walker and N Ward

PLEASE NOTE: The site visit to St Thomas More High School will take place on Tuesday 12th December 2017. The minibus will depart from Carnarvon Road, adjacent to the car park entrance at 3.00 p.m. There are no further site visits taking place in the morning prior to the meeting.

DEVELOPMENT CONTROL COMMITTEE

INTRODUCTION

- (i) **Recommendations in capitals at the end of each report are those of the Corporate Director of Place, are not the decision of the Committee and are subject to Member consideration.**
- (ii) All plans have been considered in the context of the Borough Council's Environmental Charter. An assessment of the environmental implications of development proposals is inherent in the development control process and implicit in the reports.
- (iii) Reports will not necessarily be dealt with in the order in which they are printed.
- (iv) The following abbreviations are used in the reports:-

BLP	- Borough Local Plan
DAS	- Design & Access Statement
DEFRA	- Department of Environment, Food and Rural Affairs
DPD	- Development Plan Document
EA	- Environmental Agency
EPOA	- Essex Planning Officer's Association
DCLG	- Department of Communities and Local Government
NPPF	- National Planning Policy Framework
NPPG	- National Planning Practice Guidance
SPD	- Supplementary Planning Document
SSSI	- Sites of Special Scientific Interest. A national designation. SSSIs are the country's very best wildlife and geological sites.
SPA	- Special Protection Area. An area designated for special protection under the terms of the European Community Directive on the Conservation of Wild Birds.
Ramsar Site	- Describes sites that meet the criteria for inclusion in the list of Wetlands of International Importance under the Ramsar Convention. (Named after a town in Iran, the Ramsar Convention is concerned with the protection of wetlands, especially those important for migratory birds)

Background Papers

- (i) Planning applications and supporting documents and plans
- (ii) Application worksheets and supporting papers
- (iii) Non-exempt contents of property files
- (iv) Consultation and publicity responses
- (v) NPPF and NPPG
- (vi) Core Strategy
- (vii) Borough Local Plan

NB Other letters and papers not taken into account in preparing this report but received subsequently will be reported to the Committee either orally or in a supplementary report.

DEVELOPMENT CONTROL COMMITTEE

Use Classes

- Class A1 - Shops
- Class A2 - Financial & Professional Services
- Class A3 - Restaurants & Cafes
- Class A4 - Drinking Establishments
- Class A5 - Hot Food Take-away

- Class B1 - Business
- Class B2 - General Industrial
- Class B8 - Storage or Distribution

- Class C1 - Hotels
- Class C2 - Residential Institutions
- Class C3 - Dwellinghouses
- Class C4 - Small House in Multiple Occupation

- Class D1 - Non-Residential Institutions
- Class D2 - Assembly and Leisure
- Sui Generis - A use on its own, for which any change of use will require planning permission

DEVELOPMENT CONTROL COMMITTEE

SITE VISIT PROTOCOL

1. Necessity

A site visit is only likely to be necessary if either:

- (i) The proposed development is difficult to visualise from the plans, photographs and supporting material; or
- (ii) There is good reason why the comments of the applicant and / or objector(s) cannot be expressed adequately in writing; or
- (iii) The proposal is particularly contentious; or
- (iv) A particular Member requests it and the request is agreed by the Chairman of DCC.

2. Selecting Site Visits

- (i) Members can request a site visit by contacting the Head of Planning and Transport or the Group Manager for Planning; providing the reason for the request. The officers will consult with the Chairman.
- (ii) If the agenda has not yet been printed, notification of the site visit will be included on the agenda. If the agenda has already been printed, officers will notify Members separately of the additional site visit.
- (iii) Arrangements for visits will not normally be publicised or made known to applicants or agents unless access is required to be able to go on land.

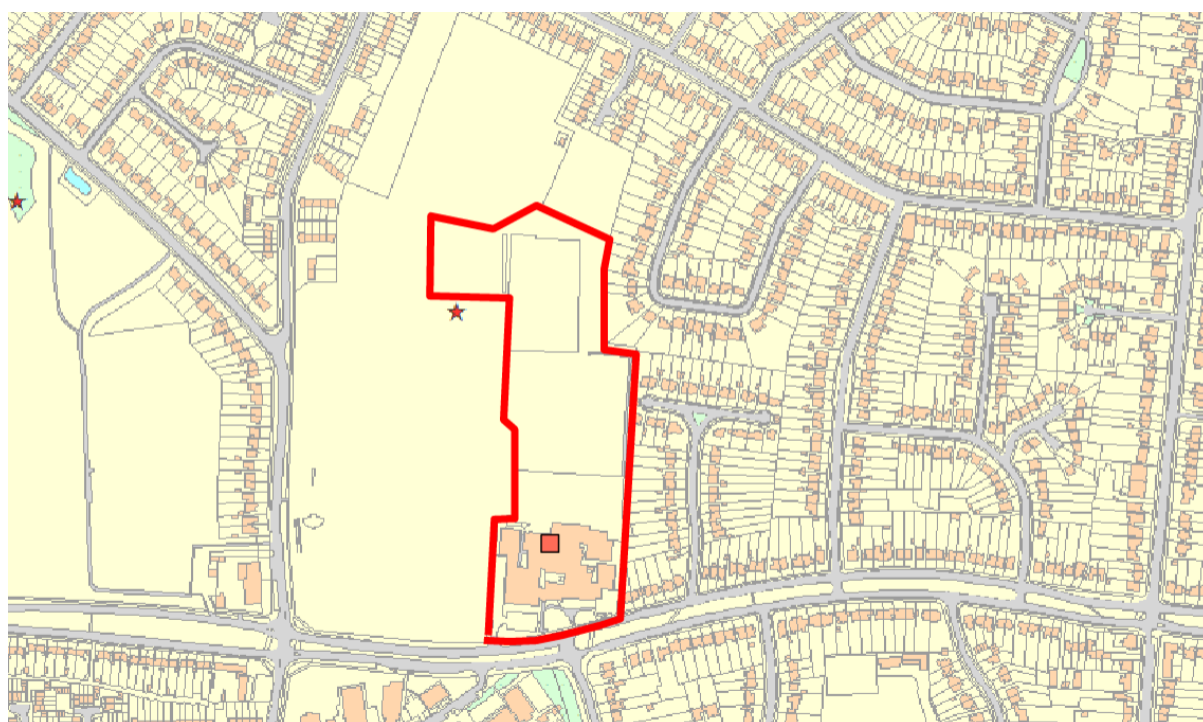
3. Procedures on Site Visits

- (i) Visits will normally take place during the morning of DCC.
- (ii) A planning officer will always attend and conduct the site visit, and will bring relevant issues to the attention of Members. The officer will keep a record of the attendance, and a brief note of the visit.
- (iii) The site will normally be viewed from a public place, such as a road or footpath.
- (iv) Representations will not be heard, and material will not be accepted. No debate with any party will take place. Where applicant(s) and/or other interested person(s) are present, the Chairman may invite them to point out matters or features which are relevant to the matter being considered having first explained to them that it is not the function of the visit to accept representations or to debate.

Version: April 2016

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Reference:	17/01306/FULM	4
Ward:	Blenheim Park	
Proposal:	Erect two storey building creating additional class rooms and fitness suite and associated accommodation, layout 10 additional car parking spaces and erect cycle store, layout Multi Use Games Area and associated works	
Address:	St Thomas More High School, Kenilworth Gardens, Westcliff-on-Sea, Essex, SS0 0BW	
Agent	St Thomas More High School	
Applicant:	Ingleton Wood LLP	
Consultation Expiry:	21.09.2017	
Expiry Date:	14.12.2017	
Case Officer:	Janine Rowley	
Plan No's:	001 Revision C; 100 Revision D; 101 Revision D; 102 Revision C; 103 Revision E; 104 Revision C; 108 Revision F; 004 Revision A	
Recommendation:	GRANT PLANNING PERMISSION	



This application has been deferred for a site visit from Development Control Committee on the 8th November 2017. The report is unchanged except for the inclusion of Education comments and updates on public consultation responses under the Representation Summary plus the addition of a Travel Plan condition.

1 The Proposal

- 1.1 Planning permission is sought to erect a two storey pitched roofed teaching block and fitness suite, to lay out 10 additional car parking spaces, erect a cycle store and form a Multi-Use Games Area, together with associated works.
- 1.2 The proposed two storey detached building would be located to the north of the existing school buildings, sited on an existing hardstanding area, which is currently used as three tennis courts. The proposed building is 35m wide x 32m deep x 9.8m high and would provide new classrooms a drama/music studio, practice rooms, a fitness suite with associated changing rooms, storage, toilets, plant rooms and associated offices. The fitness suite would be open to the public. The overall internal floorspace of the extension is approximately 1540sqm. The floorspace of the fitness suite is 150sqm.
- 1.3 The materials to be used in the construction of the new teaching block include powder coated aluminium double glazed windows and doors in grey, composite grey roof panels for the pitched roofs, yellow stock brick, coloured trespa panel, aluminium surrounds to the windows, copper cladding and red bricks to match the existing buildings.
- 1.4 The proposal includes the creation of a new Multi Use Games Area to the north of the playing fields. The surface would allow all year round activity and will enable a number of different sports to be played together with four tennis courts marked out (to replace the three that would be lost as a result of the wider development). The proposal will result in an overall increase of 272sqm of play area. No flood lights are proposed as part of this application.
- 1.5 The proposal also includes new car parking and 10 additional spaces would be created by remodelling the existing hardstanding area in front of the new building. A new cycle store is proposed to the east of the new building.
- 1.6 The planning statement states the proposed development would enable a further 151 students to be accommodated and would provide specialist teaching rooms, staff and administration areas and associated space for the 2018 intake.
- 1.7 The existing number of students on site is 995 (750 years 7-11 and 245 years 12-13). This proposal will increase the number of students to 1146 (151 additional students in years 7-11). The existing members of staff include 141 (111 full time and 30 part time), this proposal will increase the members of staff by 5 to 146 (116 full time and 30 part time).

- 1.8 A planning statement, design and access statement, energy statement, transport statement, ground investigation report, archaeological site investigation report have been submitted for consideration.

2 Site and Surroundings

- 2.1 The school site is located along Kenilworth Gardens. The existing school building fronts Kenilworth Gardens and the playground, grass and artificial sports pitches are to the north of the existing buildings. To the east of the site are two storey residential properties in Arundel Gardens. To the immediate west of the site are playing fields used by Westcliff High Schools for Girls and Boys. The site includes two vehicle accesses onto Kenilworth Gardens to the east and western boundaries. To the south of the site are Westcliff High School for Boys and Girls and there residential properties on the junction of Eastwood Boulevard and Kenilworth Gardens and to the north and east of the playing fields.
- 2.2 The playing fields to the north and east of the new educational building are designated as 'Protected Green Space' by the Development Management Document.

3 Planning Considerations

- 3.1 The main considerations in relation to this application are the principle of the development and in particular the loss of a playing field, design and impact on the character of the area, traffic and transportation, impact on residential amenity and CIL liability.

4 Appraisal

Principle of Development

National Planning Policy Framework (2012), Core Strategy (2007) Policies KP1, KP2, CP4, CP6, CP7; Development Management Document (2015) Policies DM1 and DM3, and the Design and Townscape Guide (2009)

- 4.1 Policy CP6 of the Core Strategy advocates the need to improve educational facilities to ensure that the needs of the local community are met. The policy states that subject to the maintenance of satisfactory environmental conditions and residential amenities, the Borough Council will support the improvement or extension of existing public and private education establishments and will encourage the use of their facilities for community purposes where this would meet identified requirements. The proposed development will improve the facilities available at St Thomas More, thus the proposal is in principle in accordance with Policy CP6 of the Core Strategy.

- 4.2 Policy CP7 of the Core Strategy states the Council will normally refuse permission for proposals involving the complete or partial loss of school playing fields. This proposal would not result in the loss of playing fields but would result in the loss of an existing hardstanding area which is currently used as tennis courts. This is proposed to be mitigated by the creation of a new Multi Games Use Area on land currently vacant and not capable of being used as playing field. Overall the proposal will result in the net gain of 272sqm playing area. The sports pitches to the immediate north of the existing school buildings would remain unaltered.
- 4.3 Sport England have raised no objection to the development, stating that the Multi Use Games Area would provide a larger size play surface with four tennis courts marked out and designed for formal sport, enabling the school to host tournaments and competitive tennis matches, which the existing games courts are not suitable for. The superior quality of the Multi Use Games Area would offer greater potential for meeting local community tennis court needs. In addition, the proposed fitness suite within the new teaching block would widen the range of physical activities that the school can offer as part of the Physical Education curriculum, providing additional capacity to meet the needs of the expansion. In relation to the impact on the playing field, the existing area to where the Multi Use Games Area is proposed, includes rough grassland, is poorly drained and has not been previously used for playing pitches. Sport England have raised no objections subject to a number of conditions relating to the Multi Use Games Area design specifications, phasing and delivery and the implementation of community use agreement as set out below.

Design and Impact on the Character of the Area

National Planning Policy Framework (2012); Core Strategy (2007) Policies KP2, CP4; Development Management Document (2015) Policies DM1 and DM3 and Design and Townscape Guide (2009)

- 4.4 Policy DM1 of the Development Management requires any new development to respect and enhance the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, layout, proportions, materials and overall townscape. The proposed development will result in a replacement of tennis courts with a contemporary building providing extra internal floorspace for pupils at the existing school and future expansion.
- 4.5 The overall design is simple and contemporary with varying pitches to the roof being the main feature. The proposed materials will relate satisfactorily to the existing buildings including the use of brickwork to match the existing development with modern wood effect cladding to add interest. It is considered the overall design and scale of the building does not detract from the character and appearance of the existing school building or the surrounding area. Although the proposal will be visible from Kenilworth Gardens from the west of the site, the building is set 125m from the street frontage and will have limited visual impact.

- 4.6 Given the simplicity of the design, the success of the proposal will depend on the quality of materials, which can be controlled by condition.
- 4.7 The resiting of the tennis courts and formation of a Multi-Use Games Area will not result in any material harm to the character and appearance of the area.
- 4.8 In light of the above, subject to suitable conditions, the proposed development is considered to relate satisfactorily to the character and appearance of the existing school buildings and will provide a positive addition. The proposal is therefore considered to be in accordance with the National Planning Policy Framework, Policies KP2 and CP4 of the Core Strategy, Policies DM1 and DM3 of the Development Management Document, and the Design and Townscape Guide.

Traffic and transportation

National Planning Policy Framework (2012); Core Strategy (2007) Policies KP2, CP4, CP3; Development Management Document (2015) Policy DM15, and the Design and Townscape Guide (2009).

- 4.9 The primary vehicle access to the school is from Kenilworth Gardens in the south-western corner of the school, via a gated access. There is also a gated entrance for additional car parking to the south-eastern corner to the east of the main entrance. There are currently 86 parking spaces on site for visitors and members of staff. The proposal will include the formation of 10 additional places to the rear of the site resulting in 96 spaces available on site.
- 4.10 The eastbound and westbound Kenilworth Gardens carriageways are separated by wide verges in the vicinity of the site, with traffic calming provided by the on street parking that occurs in one lane in each direction. There are a number of safe pedestrian crossing points for children.
- 4.11 Existing bus stops are on either side of Kenilworth Gardens with a number of services.
- 4.12 Vehicle parking standards set out in Policy DM15 of the Development Management Document require a maximum of 1 space per 15 students for years 7-11. For schools with further education years 12-13 1 space per 15 students for full time equivalent staff plus 1 space per 15 students for student parking are sought as a maximum. Based upon current planning policy a maximum number of 10 spaces are required for the development as proposed (which results in 151 additional students and 5 staff). Thus the 10 additional car parking spaces that are proposed will meet policy requirements. It should also be noted that parking for the site as a whole (96 parking spaces including those now proposed) exceeds the current maximum standards as set out by Policy DM15 of the Development Management Document.

- 4.13 The transport statement for the school has been updated (in terms of pupil numbers and members of staff) to take into account the proposed development. The document states that the majority of new trips generated to and from the school will be made by sustainable means, with the majority being by bus, walking and cycling. It estimates that there would be an additional 41 traffic movements as a result of the development. It is not considered that the additional traffic generated as a result of the proposed development will result in harm to the highway network or highway safety.
- 4.14 Furthermore, evidence has been submitted to demonstrate that the existing travel plan operated at the school successfully encourages travel by sustainable means; and that approximately 84% of students use sustainable means of transport. A condition will be imposed should permission be granted to ensure the travel plan is updated and reviewed annually and sustainable transport modes continue to be encouraged.
- 4.15 The current proposal will allow for the provision of additional cycle spaces to be provided. Policy DM15 of the Development Management Document states 1 space per 5 staff plus 1 space per 3 pupils is required. The applicant has confirmed currently there are cycle spaces on site. In order to ensure the proposal meets the current cycle parking standards as set out above, 55 spaces can be required by a suitable condition should permission be granted in which case the proposal would be policy compliant in terms of cycle provision.
- 4.16 Taking the above, the parking and impact on the highway network is considered to be compliant with Policy DM15 of the Development Management Document.

Impact on residential amenity

National Planning Policy Framework (2012); Core Strategy (2007) Policies KP2 and CP4; Development Management Document (2015) Policies DM1, and DM3 the Design and Townscape Guide (2009).

- 4.17 Policies DM1 and DM3 of the Development Management Document and CP4 of the Core Strategy refer to the impact of development on surrounding occupiers. High quality development, by definition, should provide a positive living environment for its occupiers whilst not having an adverse impact on the amenity of neighbours. Protection and enhancement of amenity is essential to maintaining people's quality of life and ensuring the successful integration of proposed development into existing neighbourhoods. Amenity refers to well-being and takes account of factors such as privacy, overlooking, outlook, noise and disturbance, the sense of overbearing, pollution and daylight and sunlight. A proposed development will need to consider its potential impact upon neighbouring properties and the surrounding area. policy DM1 of the Development Management requires that all development should (inter alia):

“Protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight”

- 4.18 The proposed two storey building is located 63m from the boundary with properties in Arundel Gardens with a further 35m from the rear elevation of those properties. Whilst there are windows at the first floor of the new building they are set 83m from the eastern boundary. Taking into account the separation distance to the properties to the east of the site it is considered sufficient to mitigate any material harm on the existing residents in terms of overlooking, loss of privacy and light and the development being overbearing.
- 4.19 The two storey building will be sited 222m from the nearest properties to the west of the site, with sport pitches operated by Westcliff Grammar School for Girls and Boys.
- 4.20 The proposed Multi Use Games Area is located to the east of the existing sports pitches and, the applicant has confirmed no floodlights are proposed in this application. There is an overall separation distance of 93m from the nearest property to the east in Treecot Drive, 106m from the nearest property in Winsford Gardens and 193m from properties in Bridgwater Drive, which is sufficient to mitigate any material harm to the existing residents in terms of noise and disturbance.
- 4.21 In terms of noise and disturbance, there are no restrictions of the opening hours of the school. It should be noted no conditions were imposed on the school when originally constructed in terms of hours of use. The additional parking is proposed to be accessed from Kenilworth Gardens. In terms of impact of noise and disturbance it is considered negligible and no objection is raised in relation to noise on this basis. However the Community Use agreement will contain details of hours of operation of the MUGA and fitness centre and this will protect the amenities of nearby properties.

Sustainability

National Planning Policy Framework (2007); Core Strategy (2007) Policy KP2; Development Management Document (2015) Policy DM2 and the Design and Townscape Guide

- 4.22 Paragraph 97 of the National Planning Policy Framework states that local authorities should promote energy from renewable sources. Policy KP2 of the Core Strategy states that all new development proposals should demonstrate how they will maximise the use of renewable and recycle energy, water and other resources. Policy DM2 of the Development Management Document advocates the need to ensure the delivery of sustainable development whereby all development proposals should contribute to minimising energy demand and carbon dioxide emissions in accordance with the energy hierarchy.
- 4.23 The drawings submitted illustrate that a large area of photo voltaic panels are proposed to the roof. Air source heat pumps are discussed within the supporting information. This approach is acceptable in principle but the 10% energy policy requirement will need to be demonstrated as no definitive calculations have been provided to demonstrate the proposal will meet the requirements of Policy KP2 of the Core Strategy. This will be dealt with by condition.

- 4.24 Policy KP2 of the Core Strategy states all development proposals should demonstrate how they incorporate sustainable drainage systems (SUDS) to mitigate the increase in surface water runoff, and, where relevant, how they will avoid or mitigate tidal or fluvial flood risk.
- 4.25 The applicant has submitted details of the drainage suggesting existing foul and surface water drainage will be extended and connected to existing drainage. Further details will be required by condition to demonstrate the proposal will increase surface water runoff and how it will incorporate the principle of SuDs. .

Other Matters

Lighting

- 4.26 No additional lighting has been proposed at this time. However, a suitable condition will be imposed to ensure full details are submitted for consideration should this be proposed at a later date to mitigate against any potential harm to surrounding residential properties.

4.27 *Flood Risk Assessment*

The site is located within flood zone 1 and is therefore suitable for all types of development without the need to pass the sequential test of exception test. The site is not at a significant risk of flooding and as referred to above further details on the Sustainable Urban Drainage Systems are to be required by condition.

4.28 *Archaeology*

An archaeological desk based assessment prepared by the applicants suggests that there are several features on site that may result from buried archaeological ditched features and that a further site investigation should be undertaken within the northern part of the school grounds within, and possibly around the MUGA to mitigate against the potential impacts of the development. A condition will be imposed to ensure that further site investigations are carried out and if any archaeology is discovered during the demolition and construction works, full details are to be submitted to the Council and recorded.

4.29 *Ecology/Bat Survey*

The National Planning Policy Framework (section 11) states that local authorities should aim to conserve and enhance biodiversity. Planning decisions must prevent harm to bio-diversity and impose adequate mitigation measures where appropriate. The applicant has confirmed there are no endangered or priority species inhabiting the site or any features of notable ecological value. Officers consider an appropriate condition shall be imposed to ensure relevant mitigation measures are implemented in relation to ecology matters that may arise during the construction of the development.

Trees

- 4.30 The Multi Games Area is sited in close proximity to mature trees. No objections are raised subject to conditions to ensure all work in the vicinity of the trees is undertaken in accordance with the guidelines set out in BS5837 to ensure root protection areas are calculated for each tree with protective fencing erected prior to start of the development works.

Contamination

- 4.31 The proposed Multi Games Use Area will be located on open space and the new building above an existing playground. Whilst the area is not known for contamination, during development contamination not previously identified if found present at the site, can be controlled by condition.

Community Infrastructure Levy Charging Schedule

- 4.32 Although this application is CIL liable, given the development is a new teaching block, in this instance the chargeable amount has been calculated as a zero rate as applicable due to the school is registered with Local Education Authority and makes no profit.

Conclusion

- 4.33 Having taken all material planning considerations into account, it is found that subject to compliance with the attached conditions, the proposed development is acceptable and will provide an improved education facility and new multi-use games area. The development would not result in the loss of playing fields or sports facilities. The design and scale of the proposed development relates satisfactorily to the existing school buildings and will provide an improved education facility. The increased number of students and members of staff will have limited impact on the highway network or neighbour amenity and the number of parking spaces provided is policy compliant. This application is therefore recommended for approval subject to conditions.

Planning Policy Summary

5 National Planning Policy Framework

- 5.1 Core Strategy (2007) Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Traffic and Highways), CP4 (The Environment and Urban Renaissance), CP6 (Community Infrastructure), CP7 (Sport, Recreation and Green Space)
- 5.2 Development Management Document (2015) Policies DM1 (Design Quality), DM2 (Low carbon development and efficient use of resources), DM3 (The Efficient and effective use of land), DM5 (Southend on Sea Historic Environment), DM15 (Sustainable Transport Management)

- 5.3 Design & Townscape Guide 2009.
- 5.4 Community Infrastructure Levy Charging Schedule

5.5 **Representation Summary**

Design & Regeneration

- 6 No comments.

6.1 **Children and Learning**

No comments.

6.2 **Traffic and Transportation**

The applicant is providing 96 car parking spaces for the proposed school expansion which will total 1146 students by 2022 for years 7-11. Sixth form student numbers remain unchanged. The expansion will increase the current staffing levels by 5 to 146 which include 30 part time staff. The number of car parking spaces provided for the proposal exceeds the current Development Management Document Policy DM15. 130 existing cycle parking spaces are being provided for staff and student use currently and the applicant has agreed to provide additional cycle provision in accordance with Policy DM15.

The applicant has provided a comprehensive design and access statement which includes a transport statement and travel plan detailing current modes of travel for all students. The travel plan will also be monitored annually by the highway authority. The travel plan has also referenced the previous highway improvements at the front of the site which provides a dedicated contract bus pick up and drop off area which is used by a large number of students. In addition to this there are existing bus stops within the local area which all links to services throughout the borough. The location of the school is also located to close Prittlebrook cycleway which provides good links to Leigh and Central Southend.

Given the above information no highway objections are raised as all aspects of the parking provision are policy compliant. The site benefits from being in a sustainable location with regard to public transport which has good links in close proximity and provides an alternative travel choice for all students and staff at the school. It is not considered that the additional school intake and 5 members of staff will have a detrimental impact on the public highway.

6.3 Education

SBC is currently running an expansion programme of the non-selective secondary schools to match the recent primary school expansions that was needed due to higher births and pupil population increases. St Thomas More High School is the second school on this programme and the project is being fully funded via the Council's Education Capital Programme and Central Government Grant. The build project is being managed by the Academy and it will add a further 30 places per year from September 2018 as well as enhancing sport and dining facilities.

6.4 Trees

The proposal is acceptable subject to conditions that all work in the vicinity of the trees is undertaken in accordance with the guidelines set out in BS5837, that all trees in the vicinity of the Multi Use Games Area are identified and the root protection areas calculated for each tree with protective fencing erected prior to start.

6.5 Environmental Health

No objections in principle subject to conditions in relation to contamination and noise as follows:

1. If during development contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted, and obtained written approval from the Local Planning Authority a remediation strategy detailing how this unsuspected contamination shall be dealt with. All agreed remediation works must be implemented in their entirety prior to further construction works commencing unless otherwise agreed in writing by the LPA.
Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with National Planning Policy Framework, sections 120 and 121.
2. Due to the proximity of the site to other residential buildings, the hours of work will need to be restricted. The hours of work are therefore restricted to 8am – 6pm Monday to Friday, 8am – 1pm Saturday. No demolition or construction shall be carried out on Sundays or Bank Holidays.

3. Due to the proximity of the site to other residential buildings, full details of mitigation measures to be taken to minimise and/or control noise and potential fugitive dust emissions resulting from the works must be submitted in writing for approval by the local planning authority prior to demolition or construction commencing, taking into consideration control measures detailed in *Best Practice Guidance "The control of dust and emissions from construction and demolition"*.
http://www.london.gov.uk/thelondonplan/guides/bpg/bpg_04.jsp

6.6 Sport England

Statutory Role and Policy

It is understood that the proposal prejudices the use, or leads to the loss of use, of land being used as a playing field or has been used as a playing field in the last five years, as defined in The Town and Country Planning (Development Management Procedure) (England) Order 2015 (Statutory Instrument 2015 No. 595). The consultation with Sport England is therefore a statutory requirement.

Sport England has considered the application in the light of the National Planning Policy Framework (particularly Para 74) and Sport England's policy on planning applications affecting playing fields 'A Sporting Future for the Playing Fields of England'.

Sport England's policy is to oppose the granting of planning permission for any development which would lead to the loss of, or prejudice the use of, all or any part of a playing field, unless one or more of the five exceptions stated in its policy apply.

The Proposal and Impact on Playing Field

The proposal involves the expansion of St Thomas More High School to 6FE. This would principally involve a new teaching block and additional car parking spaces that would be sited on part of the existing games court area and a new multi-use games area (MUGA) that would be sited on part of the natural turf playing field adjoining the artificial grass pitch. The proposed teaching block would include a fitness suite and ancillary changing facilities.

Assessment against Sport England Policy

As the application relates to the provision of new outdoor and indoor sports facilities on the existing playing field, it therefore needs to be considered against exception E5 of the above policy, which states:

- E5 - The proposed development is for an indoor or outdoor sports facility, the provision of which would be of sufficient benefit to the development of sport as to outweigh the detriment caused by the loss of the playing field or playing fields.

The existing and proposed playing fields have been assessed against the above policy to determine whether the proposals meet exception E5.

Sports Development Benefits

The key potential sports development benefits of the proposed development are considered to be as follows:

- Multi-Use Games Area (MUGA): While the MUGA would be directly replacing part of the existing games court area that would be lost to the classroom block, as set out in the Planning Statement, the MUGA would offer a number of benefits when compared to the games court area that it would replace:
- It would be larger in size (net increase of 2232 sqm) and would allow 4 tennis courts to be marked out which would increase the number of tennis courts available on the site by one court.
- The surface would be designed for formal sport as it would be a sports macadam surface and would be expected to be superior in quality to the games court area it would replace which appears to be a standard hard play area surface;
- The MUGA would be fenced which would offer ball stop, security and maintenance benefits
- The quality of the MUGA would allow the school to host tournaments and competitive tennis matches which the existing games courts are not suitable for;
- The superior quality of the MUGA compared to the games court would offer greater potential for meeting local community tennis court needs. At present, there is no community use of the existing games courts by the community but the new courts proposed on the MUGA would offer greater potential for meeting community needs due to the surfacing and fencing proposed. The school have also confirmed that the MUGA would be made available for community use.
- Fitness Suite: The new teaching block would include a fitness studio and ancillary changing facilities. The school's existing sports hall is unsuitable for permanent fitness equipment to be installed due to the need to maintain it for indoor sports. The fitness suite would widen the range of physical activities that the school can offer as part of its PE curriculum and provide additional capacity to meets the needs of the expansion. It is also proposed that the suite would be made available for community use outside of school hours which may help to meet local community needs for fitness suite provision.

Impact on Playing Field

In terms of the impact on the playing field, the MUGA would be sited on an area of the school's natural turf playing field adjoining the artificial grass pitch to the north of the site.

While it would be a relatively large encroachment onto the playing field, it is understood that this area is rough grassland and is poorly drained.

Consequently, it is not used for marking out playing pitches and has not been in the past. This area is also constrained by trees which would prejudice the potential for marking out pitches in any case. An existing athletics jump pit would also be displaced but this would be relocated to the south of the artificial grass pitch.

The teaching block would result in the loss of about half of the existing games court area but as set out above this would be replaced by the MUGA which would be a superior facility in size and quality. The relative remoteness of the MUGA to the school buildings is undesirable but the school have advised that this will not be an issue in relation to meeting the school's needs. The Lawn Tennis Association has been consulted and have advised that the remoteness of the MUGA from changing/toilet facilities may have an impact on potential community use although it is acknowledged that the artificial grass pitch that is used by the community is in a similar location. An existing footpath would be extended around the artificial grass pitch to ensure suitable and inclusive pedestrian access to the MUGA.

Conclusion

Given the above assessment, Sport England does not wish to raise an objection to this application as it is considered to meet exception E5 of its Playing Fields Policy i.e. the potential sports development benefits associated with the proposed MUGA and fitness suite would outweigh the detriment caused by the impact on the playing field. The absence of an objection is subject to the following conditions being attached to the decision notice should the local planning authority be minded to approve the application:

Multi-Use Games Area Design Specifications: While the proposed outline specifications for the construction, surfacing and fencing of the MUGA that have been provided by the applicant are acceptable in principle, the detailed construction specifications for the MUGA that will be implemented are not available at this stage. Consequently, these details will need to be submitted prior to commencement of development of the MUGA to demonstrate that the detailed design is of a suitable quality and follows the outline specifications. The specification should include details of the surface, fencing and court markings. This is justified to ensure that the facility does deliver the benefits to sport identified above which mitigate the impact on the playing field. It is requested that the following condition and informative be imposed on any planning permission to address this matter (which is based condition 9 of our model conditions schedule <https://www.sportengland.org/facilities-planning/planning-for-sport/planning-applications/>):

“No development of the multi-use games area shall commence until details of the design and layout of the multi-use games area including the surface specification, fencing specification and line markings have been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England.”

The multi-use games area shall not be constructed other than in accordance with the approved details.

*Reason: To ensure the development is fit for purpose and sustainable and to accord with Development Plan Policy **.*

Informative: The applicant is advised that the design and layout of the [sports facility] should comply with the relevant industry Technical Design Guidance, including guidance published by Sport England and National Governing Bodies for Sport. Particular attention is drawn to Sport England's 'Artificial Surfaces for Outdoor Sports' guidance note (2013) www.sportengland.org/facilities-planning/tools-guidance/design-and-cost-guidance/artificial-sports-surfaces/ and the Lawn Tennis Association's Porous Macadam Tennis Courts and Floodlighting Outdoor Tennis Courts guidance notes <https://www.lta.org.uk/venue-management/facilities-advice/>.

- Community Use Agreement: A condition requiring a community use agreement for the school's MUGA and fitness suite to be submitted and approved by the local planning authority (in consultation with Sport England) prior to first occupation of the development in order to ensure that community access to the proposed sports facilities is secured in practice. A community use agreement sets out a school's policy and arrangements for community use of its facilities and covers matters such as hours of use, pricing policy, types of bookings accepted, restrictions on community use, facility management arrangements, lettings policy etc. The agreement is usually between a school and the relevant local authority or leisure trust (e.g. Southend-on-Sea Borough Council) but may involve additional bodies. Sport England regularly secures the completion of such agreements through planning conditions on planning permissions for school developments.
- Such a condition is justified to ensure community use of the proposed facilities is secured in practice and to ensure that the community use arrangements are safe and well managed. Without suitable community access being secured over a long term period in practice, one of the principal sports development benefits of the proposals would not be realised and consequently there would not be a basis for Sport England to make no objection to the impact of the development on sports facilities. A community use agreement also provides clarity and formalisation with respect to community access arrangements for all parties. Community use agreement templates, examples of completed agreements and further advice can be provided upon request. For information, Sport England's guidance for schools on preparing for and delivering community use is available on our 'Use our School' toolkit at <http://www.sportengland.org/facilities-planning/use-our-school/> .

- The school's existing community lettings policy for its sports facilities can be incorporated into a community use agreement. The following condition is requested to be imposed to address this which is based on model condition 16 of our schedule:

"No occupation shall commence of the development hereby permitted until a community use agreement prepared in consultation with Sport England has been submitted to and approved in writing by the Local Planning Authority, and a copy of the completed approved agreement has been provided to the Local Planning Authority. The agreement shall apply to the multi-use games area and fitness suite and include details of pricing policy, hours of use, access by non-educational establishment users, management responsibilities and a mechanism for review, and anything else which the Local Planning Authority in consultation with Sport England considers necessary in order to secure the effective community use of the facilities. The development shall not be used at any time other than in strict compliance with the approved agreement."

*Reason: To secure well managed safe community access to the sports facility/facilities, to ensure sufficient benefit to the development of sport and to accord with Development Plan Policy **.*

- Multi-Use Games Area Phasing & Delivery: A condition requiring details of the phasing and delivery of the proposed multi-use games area to be submitted and approved prior to commencement of development. Indicative phasing proposals for the MUGA has been provided with the planning application which suggests that the facility would be phased so that it is available during the summer period when there is greatest demand for its use but the detail of the phasing is unavailable at this stage as this is subject to when planning permission is granted and the contractor's construction programme.

It is therefore necessary to consider the actual proposed phasing and delivery arrangements when the planning application has been approved to assess the acceptability of the arrangements in order to ensure that the phasing minimises disruption to the delivery of the PE curriculum and ensures that it is delivered in practice within an acceptable timescale. The following condition is requested to be imposed to address this which is based on model condition 7 of our conditions schedule

No development shall commence until details for the phasing and delivery of the multi-use games area hereby permitted, have been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England. The development hereby permitted shall not be carried out other than in accordance with the approved details.

*Reason: To ensure the satisfactory quantity, quality and accessibility of compensatory provision which secures a continuity of use [phasing provision] and to accord with Development Plan Policy **.*

6.7 **Southend Airport**

No objections. If a crane or piling rig are required to construct the proposal, this will need to be safeguarded separately and dependant on location may be restricted in height and may also require full coordination with the Airport authority.

6.8 **Essex and Suffolk Water**

We have no objection to this development subject to compliance with our requirements, consent is given to the development on the condition that a water connection is made onto our Company network for the new dwelling for revenue purposes.

6.9 **Natural England**

No comments. Natural England have not assessed this application for impacts on protected species.

6.10 **Essex County Fire and Rescue Service**

It is not clear whether vehicles will be able to turn in the area for the access to the proposed building and more detailed observations on accesses and facilities for the fire service will be considered at Building Regulation consultation stage.

The development would be required to comply with the relevant requirements of the Building Regulations.

Water supplies for fire fighting maybe necessary for this development.

Sprinkler systems may be required.

6.11 **Public Consultation**

Site notice displayed on the 30th August 2017 and 34 neighbours notified of the proposal. Eight letters of objection have been received stating:

- Consultation on the application was inadequate
- Loss of playing fields
- Visible from the houses in Arundel Gardens and would obstruct views from homes
- Increase noise and disturbance
- Opening hours should be controlled if the fitness suite is to be open for the public
- Arundel Gardens is a 6th former car park, there should be a foliage screen
- Traffic and congestion increased
- Overdeveloped site
- Loss of playground space

- School travel action plan gives data and number of staff and students travelling to school and claims the trend by car is reducing but does not analyse the 6th form students travelling by car
- Application documents inaccurate
- Adverse impact on access including access for emergency vehicles
- Unacceptable parking impacts
- Scheme should include a foliage screen plan
- Any further extension to the school will cause hardship to the neighbours in surrounding streets due to the increase in commuter parking and littering
- Increase in road safety risk due to the increase in the number of parents dropping and collecting their children
- 10 additional parking spaces is a gesture as the application is for 13 classrooms which will mean extra teaching and administration staff who will be car users
- The classes are intended for sixth form users and this will mean an increase of some 120 students [**Officer comment - the classrooms do not provide accommodation for sixth form students**]
- Noise and Waste Pollution
- Local feeling that the community is being overlooked
- No consideration regarding restrictive parking
- Informed that both Westcliff High Schools for Boys and Girls recruiting children from London Boroughs
- Affect quality of life
- Insufficient parking and increased parking in the adjacent streets. A resident permit parking system should be introduced to the area
- Arundel Gardens Neighbourhood Watch Group with 26 members of the 42 houses in the Gardens. A ballot on email for 22 of the properties has a view on their preferences for the wording relating to a parking permit.

A letter from an objector has been circulated to residents raising concerns in relation to (inter alia):

- 13 additional classrooms; 10 parking spaces are not sufficient, parking provision not acceptable. Exacerbate existing parking/traffic problems.
- Emergency services will not be able to gain access to the site and would be obstructed along Kenilworth Gardens

In addition, staff are aware that a resident has written to Members highlighting a number of concerns which are on the subject themes already addressed within the main body of representation summary above.

These concerns are noted and they have been taken into account in the assessment of the application. However, they are not found to represent a reasonable basis to refuse planning permission in the circumstances of this case.

7 Relevant Planning History

- 7.1 There is an extensive history relating to this site but the most relevant application are as follows:
- 7.2 Replace existing panelling, windows and doors to Blocks A and C- Granted (17/00162/FULM)
- 7.3 Erect single storey infill extension- Granted (15/00069/FULM)
- 7.4 Application for approval of details pursuant to Condition 4 (materials) of planning permission 13/01684/FULM granted 10.03.14- Agreed (14/01091/AD)
- 7.5 Extend existing front car park by fifteen spaces- Granted (13/01684/FULM)
- 7.6 Erect freestanding canopy/shelter adjacent to north end of building- Granted (13/00856/FUL)

8 Recommendation

Members are recommended to GRANT PLANNING PERMISSION subject to the following conditions:

- 1 The development hereby permitted shall be begun not later than 3 years beginning with the date of this permission.**

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the approved plans 001 Revision C; 100 Revision D; 101 Revision D; 102 Revision C; 103 Revision E; 104 Revision C; 108 Revision F; 004 Revision A.**

Reason: To ensure that the development is carried out in accordance with the policies contained within the Development Plan.

- 3 Notwithstanding the details shown on the plans submitted otherwise hereby approved the development hereby permitted shall not commence other than for groundworks and site preparation works unless and until details and appropriately sized samples of the materials to be used for all the external surfaces of the proposed buildings and hardsurfaced areas at the site have been submitted to and approved in writing by the Local Planning Authority. The development hereby permitted shall be implemented in full accordance with the details and samples approved under this condition before it is occupied.**

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of surrounding locality. This is as set out in Core Strategy (2007) Policies KP2 and CP4, Development Management Document (2015) Policies DM1 and DM3 and Design and Townscape Guide (2009).

- 4 No development of the multi-use games area shall commence until details of the design and layout of the multi-use games area including the surface specification, fencing specification and line markings have been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England. The multi-use games area shall not be constructed other than in accordance with the approved details and retained thereafter.**

Reason: To ensure the satisfactory, quality of compensatory provision and to ensure that the development is fit for purpose and sustainable and to accord with Development Plan Document Policy CP7 of the Core Strategy (2007).

- 5 No occupation shall commence of the development hereby permitted until a community use agreement prepared in consultation with Sport England has been submitted to and approved in writing by the Local Planning Authority, and a copy of the completed approved agreement has been provided to the Local Planning Authority. The agreement shall apply to the multi-use games area and fitness suite and include details of pricing policy, hours of use, access by non-educational establishment users, management responsibilities and a mechanism for review, and anything else which the Local Planning Authority in consultation with Sport England considers necessary in order to secure the effective community use of the facilities. The development shall not be used at any time other than in strict compliance with the approved agreement.**

Reason: To secure well managed safe community access to the sports facility, to ensure sufficient benefit to the development of sport in accordance with Development Plan Policy CP7 of the Core Strategy DPD1.

- 6 No development shall commence until details for the phasing and delivery of the multi-use games area hereby permitted, have been submitted to and approved in writing by the Local Planning Authority after consultation with Sport England. The development hereby permitted shall not be carried out other than in accordance with the approved details.**

Reason: To ensure the satisfactory quantity, quality and accessibility of compensatory provision which secures continuity of use (phasing provision) and to ensure that the development is fit for purpose and sustainable and to accord with Development Plan Document Policy CP7 of the Core Strategy (2007).

7 a) No development associated with this permission shall take place until a written scheme of investigation for a programme of archaeological work has been submitted to and approved in writing by the local planning authority. This must include details of the suitably qualified person or organisation that will carry out the archaeological work and reasonable notification to the local planning authority when the work will be undertaken.

(b) The archaeological work and development must then be carried out in accordance with the approved scheme. A written report of the investigation and findings must be produced, showing that the archaeological work and development has been carried out in accordance with the approved scheme and recommendations within the report carried out. Copies of the written report of the investigation and findings must be sent to Southend Borough Council.

(c) No part of the construction work shall commence until the local planning authority has provided written confirmation that it is satisfied that the archaeological fieldwork and development has been carried out in accordance with the approved scheme.

Reason: To avoid damage to archaeological remains on site as set out in the National Planning Policy Framework (2012), Core Strategy (2007) Policies KP2 and CP4, Development Management Document (2015) Policies DM1, DM2 and Design and Townscape Guide (2009).

8 Prior to first occupation of the development 10 additional car parking spaces to serve the development shall be provided in accordance with drawing 108 Revision F hereby approved and shall thereafter be permanently retained for use by staff and visitors to the school. Permeable paving shall be used for the hardstanding area associated with this use.

Reason: In the interests of highway management and safety, residential amenity and general environmental quality in accordance with the NPPF, Core Strategy (2007) Policies KP2, CP3 and CP4, Development Management Document (2015) Policy DM15, and Design and Townscape Guide (2009).

9 Notwithstanding the details shown on the plans submitted otherwise hereby approved prior to occupation of the development hereby approved details of the 55 bicycle parking spaces to be provided at the site shall be submitted to and agreed in writing by the Local Planning Authority. The approved bicycle parking spaces shall be provided prior to the occupation of the building and permanently maintained thereafter in accordance with the approved details unless otherwise agreed in writing by the local planning authority.

Reason: To ensure that adequate cycle parking is provided and retained to serve the development in accordance with policy CP3 of the Core Strategy (2007) and policy DM15 of the Development Management Document (2015).

- 10 Prior to first use of the development hereby approved a Travel Plan which encourages travel to and from the site by sustainable mode of transport shall be submitted to and agreed in writing by the local planning authority. The Travel Plan shall be implemented in full accordance with the approved details and measures from the first occupation of the development. At the end of the first and third year's operation of the development hereby approved, reports monitoring the effectiveness of the Travel Plan and setting out any proposed changes to the Plan to overcome any identified problems must be submitted to and approved in writing by the local planning authority. The updated Travel Plan must thereafter be implemented in accordance with the approved details.**

Reason: In the interests of sustainability, accessibility, highways efficiency and safety, residential amenity and general environmental quality in accordance with Core Strategy (2007) Policies KP2, CP3 and CP4, Policy DM15 of Development Management Document (2015), and the Design and Townscape Guide (2009).

- 11 Notwithstanding the provisions of any development order made under Section 59 of the Town and Country Planning Act 1990 (or any order revoking and re-enacting that Order) no floodlighting shall be installed at the site without the receipt of express planning permission in writing.**

Reason: To protect the amenities of neighbouring properties and the general environmental quality in accordance with, National Planning Policy Framework, Core Strategy (2007) Policies KP2 and CP4, and Development Management Document (2015) Policies DM1 and DM3.

- 12 No site clearance, preparatory work or development shall take place until a scheme of mitigation for the protection of the trees adjacent to the Multi Use Games Area and those identified on plan ref 108 revision F and the appropriate working methods (the Arboricultural method statement) in accordance with Clause 7 of British Standard BS5837 - Trees in Relation to Construction - Recommendations has been submitted to and agreed in writing by the local planning authority.**

The approved mitigation measures shall be installed before the commencement of works and the development implemented in full accordance with the approved measures and methods.

Reason: In the interests of visual amenity and to ensure a satisfactory standard of tree protection, pursuant to Core Strategy (2007) Policies KP2 and CP4, Development Management Document (2015) Policies DM1, DM3 and the advice contained in the Design and Townscape Guide (2009).

- 13** No site clearance, preparatory work or development shall take place until a scheme of mitigation measures to show how the developments potential effects on biodiversity, protected species and habitats would be mitigated against during the construction of the development. The construction works must then be carried out only in accordance with the approved measures.

Reason: To protect the biodiversity of the environment in accordance with the National Planning Policy Framework, Core Strategy (2007) Policies KP2 and CP4, Development Management Document (2015) Policies DM1, DM3 and the advice contained in the Design and Townscape Guide (2009).

- 14** A scheme detailing how at least 10% of the total energy needs of the new building will be supplied using on site renewable sources must be submitted to and agreed in writing by the Local Planning Authority and implemented in full prior to the first occupation of the building. This provision shall be made for the lifetime of the development.

Reason: In the interests of providing sustainable development in accordance with Policy KP2 of the Core Strategy (2007), Policy DM2 of the Development Management Document (2015).

- 15** No development other than demolition and site clearance works shall take place until details of the implementation, maintenance and management of a scheme for surface water drainage works (incorporating Sustainable Urban Drainage (SuDs) Principles have been submitted to and approved by the local planning authority. The scheme shall be implemented and thereafter managed in accordance with the approved details before the development is occupied and brought into use and be maintained as such thereafter. Those details shall include:

i) An investigation of the feasibility of infiltration SUDS as the preferred approach to establish if the principles of any infiltration based surface water drainage strategy are achievable across the site, based on ground conditions. Infiltration or soakaway tests should be provided which fully adhere to BRE365 guidance to demonstrate this. Infiltration features should be included where infiltration rates allow;

ii) Drainage plans and drawings showing the proposed locations and dimensions of all aspects of the proposed surface water management scheme.

The submitted plans should demonstrate the proposed drainage layout will perform as intended based on the topography of the site and the location of the proposed surface water management features;

iii) a timetable for its implementation; and

iv) a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public body or statutory undertaker, or any other arrangements to secure the operation of the sustainable drainage scheme throughout its lifetime.

Reason: In order to ensure a satisfactory standard of sustainable drainage and to prevent environmental and amenity problems arising from flooding in accordance with Policies KP2 and CP4 of the Core Strategy (2007), Development Management Document (2015) Policy DM2.

16 No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to, and approved in writing by, the local planning authority. The approved Statement shall be adhered to throughout the construction period. The Statement shall provide for:

- i. the parking of vehicles of site operatives and visitors
- ii. loading and unloading of plant and materials
- iii. storage of plant and materials used in constructing the development
- iv. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate
- v. details of drainage/surface water to ensure the proposal does not discharge onto Network Rail land including foul drainage.
- vi. measures to control the emission of dust and dirt during construction
- vii. plant and materials
- viii. scaffolding
- ix. piling
- x. lighting
- xi. a scheme for recycling/disposing of waste resulting from demolition and construction works
- xii. future maintenance of the site

Reason: To minimise the environmental impact and disturbance to existing residents, during construction of the development in accordance National Planning Policy Framework; Core Strategy (2007) Policies KP2 and CP4; Development Management Document (2015) Policies DM1 and DM3.

17 If during development contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until written approval from the Local Planning Authority has been received for a remediation strategy detailing how this unsuspected contamination shall be dealt with that has previously been submitted to the Local Planning Authority in writing.

All agreed remediation works must be implemented in their entirety prior in full accordance with the approved remediation strategy to further construction works commencing unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with National Planning Policy Framework, sections 120 and 121 and Policies KP2 and CP4 of the Core Strategy (2007) and Policy DM2 of the Development Management Document (2015).

- 18 Construction and demolition shall only take place between the hours of 07:30 and 18:00 Monday to Friday and 08:00 to 13:00 on Saturdays and not at all on Sundays or Bank Holidays.**

Reason: To protect residential amenity and general environment quality in accordance with the National Planning Policy Framework (2012), Core Strategy (2007) Policies KP2 and CP4, and Policies DM1 and DM3 of the Development Management Document (2015).

- 19 During construction and demolition the loading or unloading of goods or materials shall take place on the land only between the hours of 07:30 hours -18:00 on Monday to Friday, 08:00 to 13:00 on Saturdays, and not at all on Sundays or Bank Holidays.**

Reason: In order to protect the amenities of occupiers of the development surrounding occupiers and to protect the character the area in accordance with Policies KP2 and CP4 of the Core Strategy (2007) and Policies DM1 and DM3 of the Development Management Document (2015).

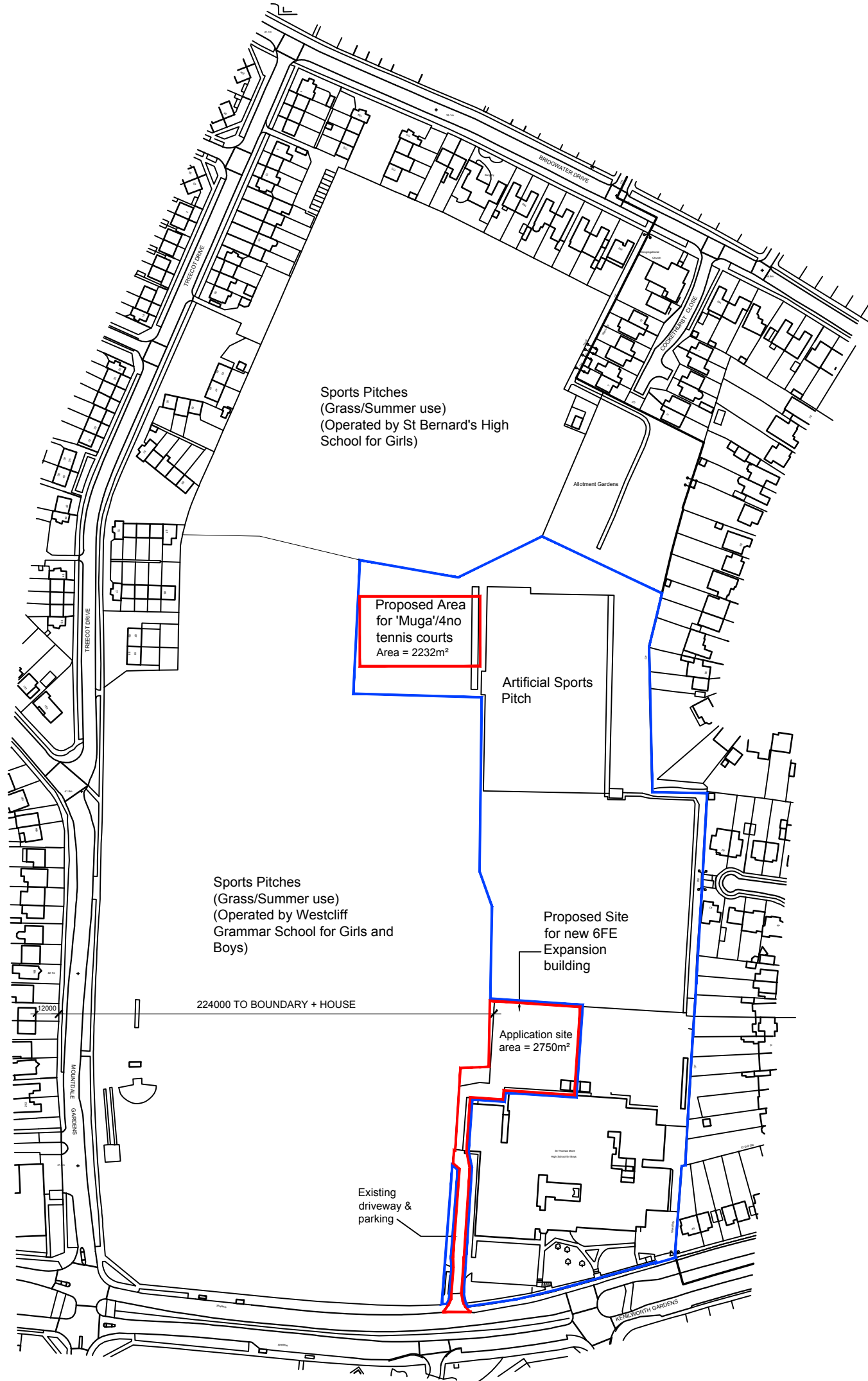
- 20 The development shall not be occupied until refuse and recycling details have been submitted to and agreed in writing by the Local Planning Authority. The waste management of the development shall thereafter be carried out in accordance with the approved details before it is occupied.**

Reason: to ensure that the development is satisfactorily serviced and that satisfactory waste management is undertaken in the interests of highway safety and visual amenity and to protect the character of the surrounding area, in accordance with Policies KP2 and CP3 of the Core Strategy (2007) and Policy DM15 of the Development Management Document (2015).

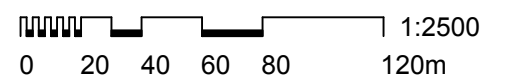
Informatives

- 1** You are advised that in this instance the chargeable amount for the Community Infrastructure Levy (CIL) has been calculated as zero due to the specific nature of the use.
- 2** You are advised that the development hereby approved is likely to require approval under Building Regulations. Our Building Control Service can be contacted on 01702 215004 or alternatively visit our website http://www.southend.gov.uk/info/200011/building_control for further information.
- 3** The applicant is reminded that this permission does not bestow compliance with other regulatory frameworks. In particular your attention is drawn to the statutory nuisance provisions within the Environmental Protection Act 1990 (as amended) and also to the relevant sections of the Control of Pollution Act 1974. The provisions apply to the construction phase and not solely to the operation of the completed development. Contact 01702 215005 for more information.
- 4** In relation to condition 4 above The applicant is advised that the design and layout of the [Multi Use Games Area] should comply with the relevant industry Technical Design Guidance, including guidance published by Sport England and National Governing Bodies for Sport. Particular attention is drawn to Sport England's 'Artificial Surfaces for Outdoor Sports' guidance note (2013) www.sportengland.org/facilities-planning/tools-guidance/design-and-cost-guidance/artificial-sports-surfaces/ and the Lawn Tennis Association's Porous Macadam Tennis Courts and Floodlighting Outdoor Tennis Courts guidance notes <https://www.lta.org.uk/venue-management/facilities-advice/>.

The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern within the application (as originally submitted) and negotiating, with the Applicant, acceptable amendments to the proposal to address those concerns. As a result, the Local Planning Authority has been able to grant planning permission for an acceptable proposal, in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.



LOCATION PLAN



Ingleton Wood
 Vision, form and function
 Billericoy
 10 Lake Meadows Business Park
 Woodbrook Crescent
 Billericoy CM12 0EQ
 T: 01277 637800
 www.ingletonwood.co.uk

DO NOT SCALE
 LEGEND:

All dimensions to be verified on site by Main Contractor before the start of any shop drawings or work whatsoever either on their own behalf or that of sub-contractors.
 Report any discrepancies to the Contract Administrator at once.
 This drawing is to be read with all relevant Architects and Engineer's drawings and other relevant information.
 © Ingleton Wood LLP

C	14.12.16	Additional information added	DU	IB
B	05.10.16	Red outlined application revised	DU	IB
A	26.09.16	Red outlined application revised	DU	IB
Revision:	Date:	Description:	Drw:	CHK:

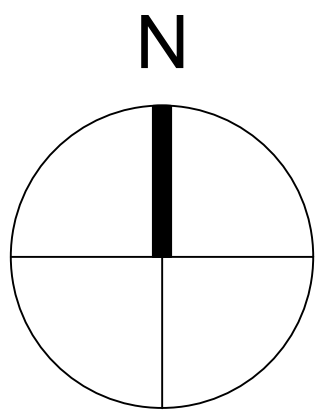
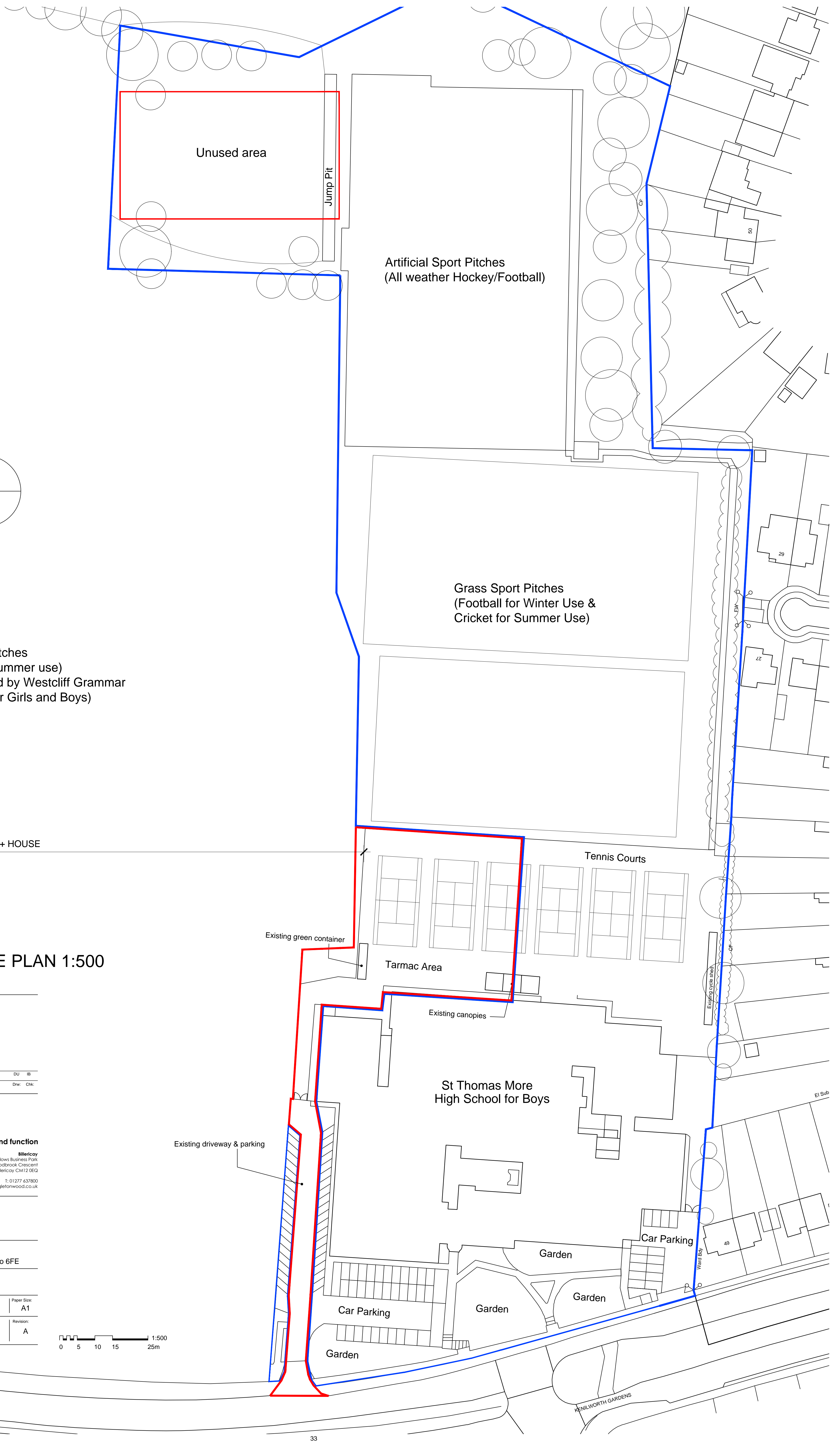
Project: St Thomas More High School
 Kenilworth Gardens
 Westcliff-on-Sea
 Essex SS0 0BW

Drawing Title: Location Plan
 New Expansion Project to 6FE

Client: St Thomas More High School

Drawn:	Checked:	Date:	Scale:	Paper Size:
DU	IB	23.08.16	1:2500	A3
Job No.:	Dwg No.:	Stage:	Revision:	
62519	001	Planning	C	

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Sports Pitches
(Grass/Summer use)
(Operated by Westcliff Grammar
School for Girls and Boys)

224000 TO BOUNDARY + HOUSE

EXISTING SITE PLAN 1:500

A	13.12.16	Additional notes added.	DU	IB
Revision:	Date:	Description:	Drw:	Chk:

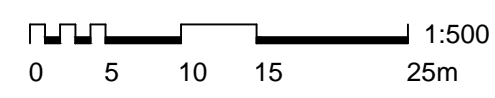
Ingleton Wood
Vision, form and function
 Billericoy
 10 Lake Meadows Business Park
 Woodbrook Crescent
 Billericoy CM12 0EQ
 London
 Norwich
 T: 01277 637800
 www.ingletonwood.co.uk

Project: St Thomas More High School
 Kenilworth Gardens
 Westcliff-on-Sea
 Essex SS0 0BW

Drawing Title: Existing Site Plan
 Proposed Expansion Project to 6FE

Client: St Thomas More High School

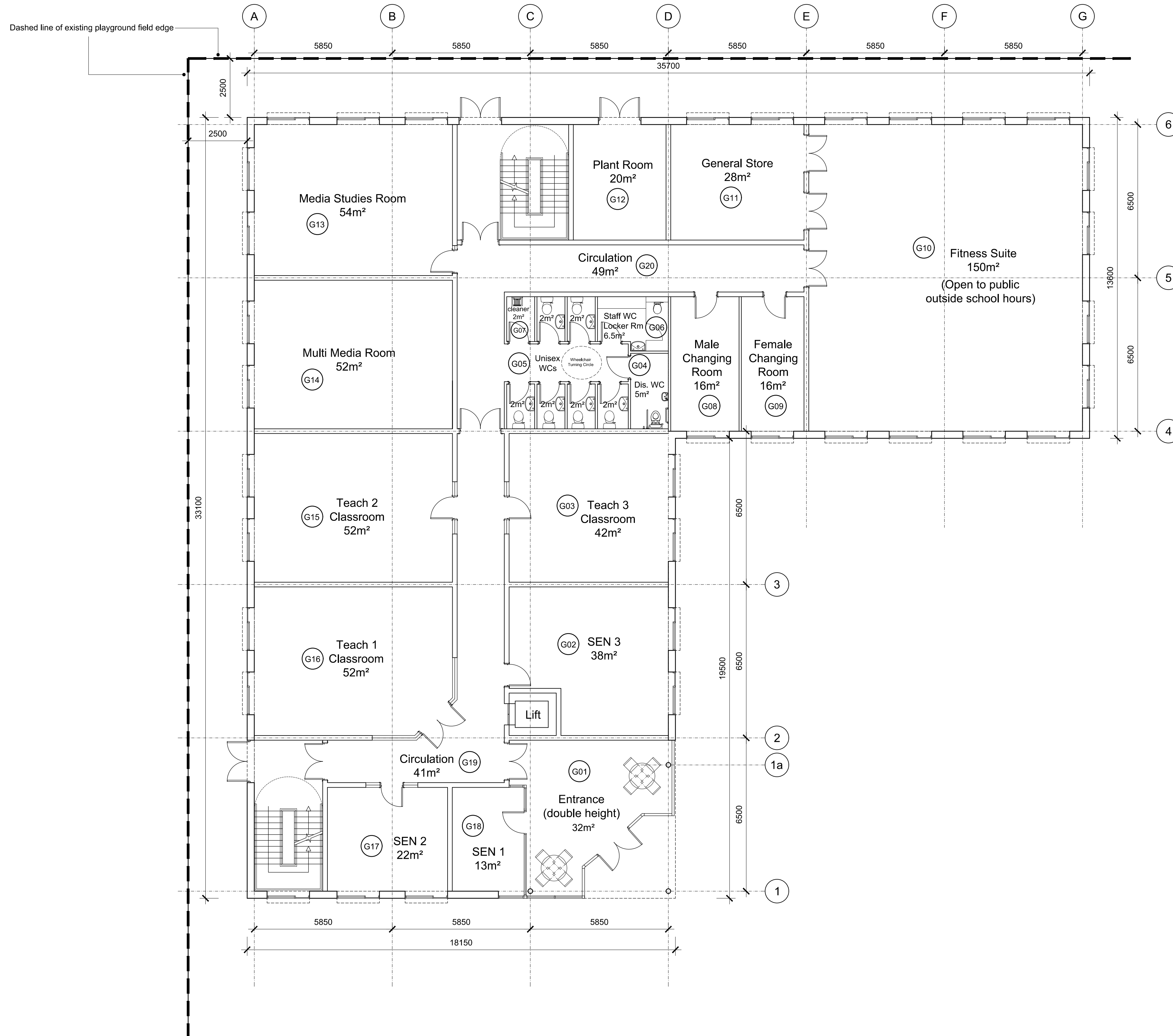
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DU	IB	19.09.16	1:500	A1
Job No.:	Dwg No.:	Stage:	Revision:	
62519	004	Preliminary	A	



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All dimensions to be verified on site by Main Contractor before the start of any shop drawings or work whatsoever either on their own behalf or that of sub-contractors.
 Report any discrepancies to the Contract Administrator at once.
 This drawing is to be read with all relevant Architect's and Engineer's drawings and other relevant information.
 © Ingleton Wood LLP

LEGEND: DO NOT SCALE



ROOM SCHEDULE			
NUMBER	NAME	AREA	OCCUPANCY
G01	Entrance	32	
G02	SEN 3	38	
G03	Teach 3 Classroom	42	
G04	Disabled WC	5	
G05	Unisex WCs (3no)	6	
G06	Staff WC/Locker	6.5	
G07	Cleaner	2	
G08	Male Changing Room	16	
G09	Female Changing Room	16	
G10	Indoor Gym	150	
G11	Plant Room	28	
G12	General Store	20	
G13	Media Studies Room	54	
G14	Multi Media Room	52	
G15	Teach 2 Classroom	52	
G16	Teach 1 Classroom	52	
G17	SEN 2	22	
G18	SEN 1	13	
G19	Circulation	41	
G20	Circulation	49	
Total		696.5	
F01	SLT Office	31	
F02	Maths Office	38	
F03	Maths 4	42	
F04	Disabled WC	5	
F05	Unisex WCs (3no)	6	
F06	Staff WC Locker Room	6.5	
F07	Cleaner	2	
F08	Maths 2	48	
F09	Music Practice 1	13	
F10	Studio Music/Drama	84	
F11	Music Practice 2	13	
F12	General Store	13	
F13	Maths 2	49	
F14	Maths 1	54	
F15	Maths 6	52	
F16	Maths 5	52	
F17	Computer 1 Classroom	52	
F18	Circulation	41	
F19	Circulation	55	
Total		656.5	
Overall Total Area		1353	

Revision	Date	Description	Drawn	Checked
D	10.07.17	Planning Stage Issue	DU	IB
C	30.09.16	Changed to L shaped building	DU	IB
B	23.09.16	Revised to suit Client's requirements	DU	IB
A	16.09.16	Revised to suit Client's requirements	DU	IB



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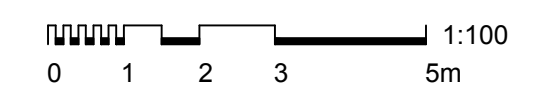
Project: **St Thomas More High School**
 Kenilworth Gardens
 Westcliff-on-Sea
 Essex SS0 0BW

Drawing Title: **Proposed Ground Floor Plan**
Proposed Expansion Project to 6FE

Client: **St Thomas More High School**

Drawn	Checked	Date	Scale	Paper Size
DU	IB	09.09.16	1:100	A1
Job No.	Dwg No.	Stage	Revision	
62519	100	Planning	D	

PROPOSED GROUND FLOOR PLAN (GIFA= 790m²)



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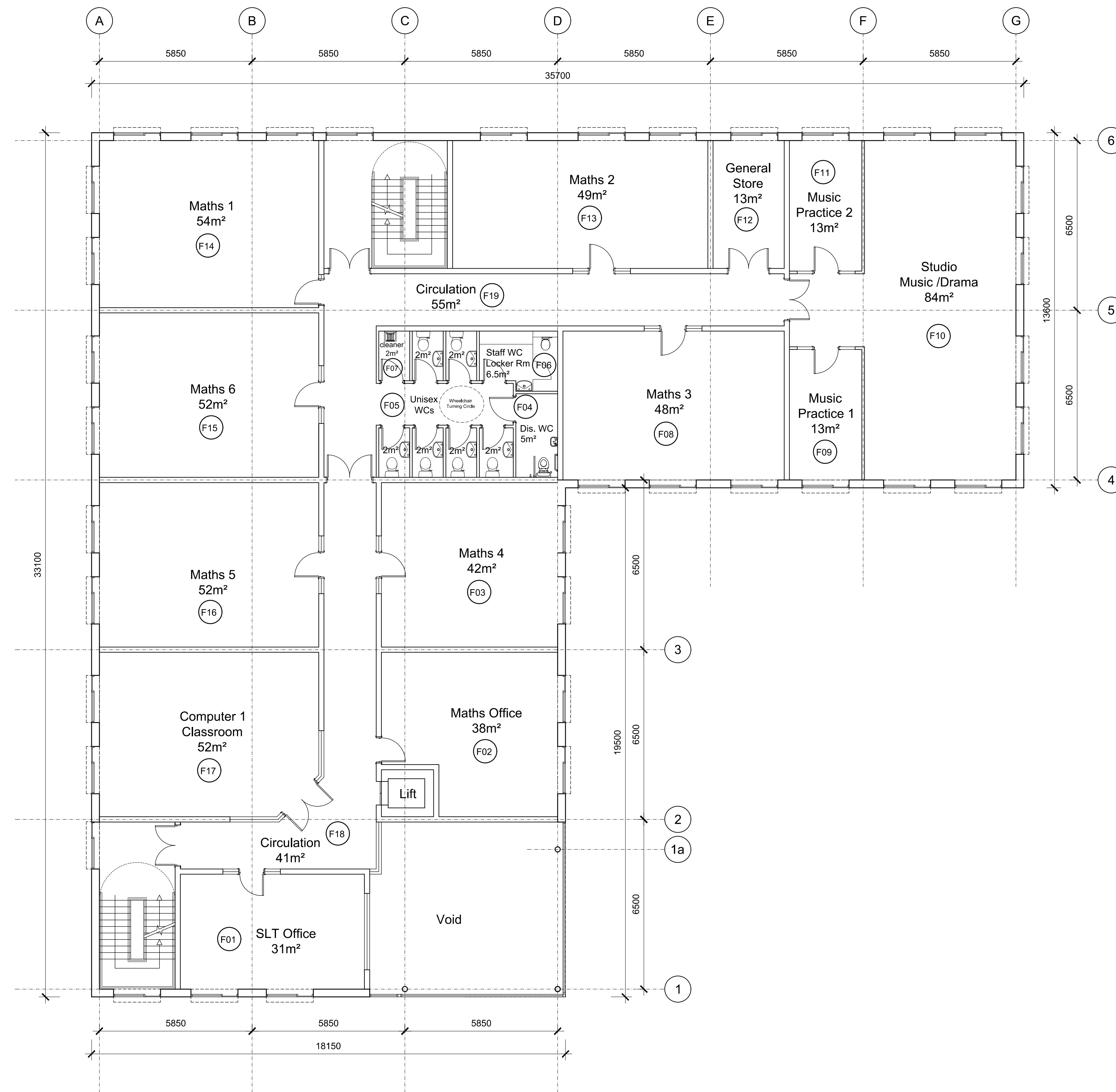
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ROOM SCHEDULE			
NUMBER	NAME	AREA	OCCUPANCY
G01	Entrance	32	
G02	SEN 3	38	
G03	Teach 3 Classroom	42	
G04	Disabled WC	5	
G05	Unisex WCs (3no)	6	
G06	Staff WC/Locker	6.5	
G07	Cleaner	2	
G08	Male Changing Room	16	
G09	Female Changing Room	16	
G10	Indoor Gym	150	
G11	Plant Room	28	
G12	General Store	20	
G13	Media Studies Room	54	
G14	Multi Media Room	52	
G15	Teach 2 Classroom	52	
G16	Teach 1 Classroom	52	
G17	SEN 2	22	
G18	SEN 1	13	
G19	Circulation	41	
G20	Circulation	49	
	Total	696.5	
F01	SLT Office	31	
F02	Maths Office	38	
F03	Maths 4	42	
F04	Disabled WC	5	
F05	Unisex WCs (3no)	6	
F06	Staff WC Locker Room	6.5	
F07	Cleaner	2	
F08	Maths 2	48	
F09	Music Practice 1	13	
F10	Studio Music/Drama	84	
F11	Music Practice 2	13	
F12	General Store	13	
F13	Maths 2	49	
F14	Maths 1	54	
F15	Maths 6	52	
F16	Maths 5	52	
F17	Computer 1 Classroom	52	
F18	Circulation	41	
F19	Circulation	55	
	Total	656.5	
	Overall Total Area	1353	

Revision	Date	Description	Drawn	Checked
D	10.07.17	Planning Stage Issue	DU	IB
C	30.09.16	Changed to L shaped building	DU	IB
B	23.09.16	Revised to suit Client's requirements	DU	IB
A	16.09.16	Revised to suit Client's requirements	DU	IB



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Project: St Thomas More High School
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Essex SS0 0BW

Drawing Title: Proposed First Floor Plan
New Sixth Form Building

Client: St Thomas More High School

Scale: 1:100
0 1 2 3 5m

Drawn	Checked	Date	Scale	Paper Size
DU	IB	09.09.16	1:100	A1
Job No.	Dwg No.	Stage	Revision	
62519	101	Planning	D	

PROPOSED FIRST FLOOR PLAN (GIFA = 750m²)

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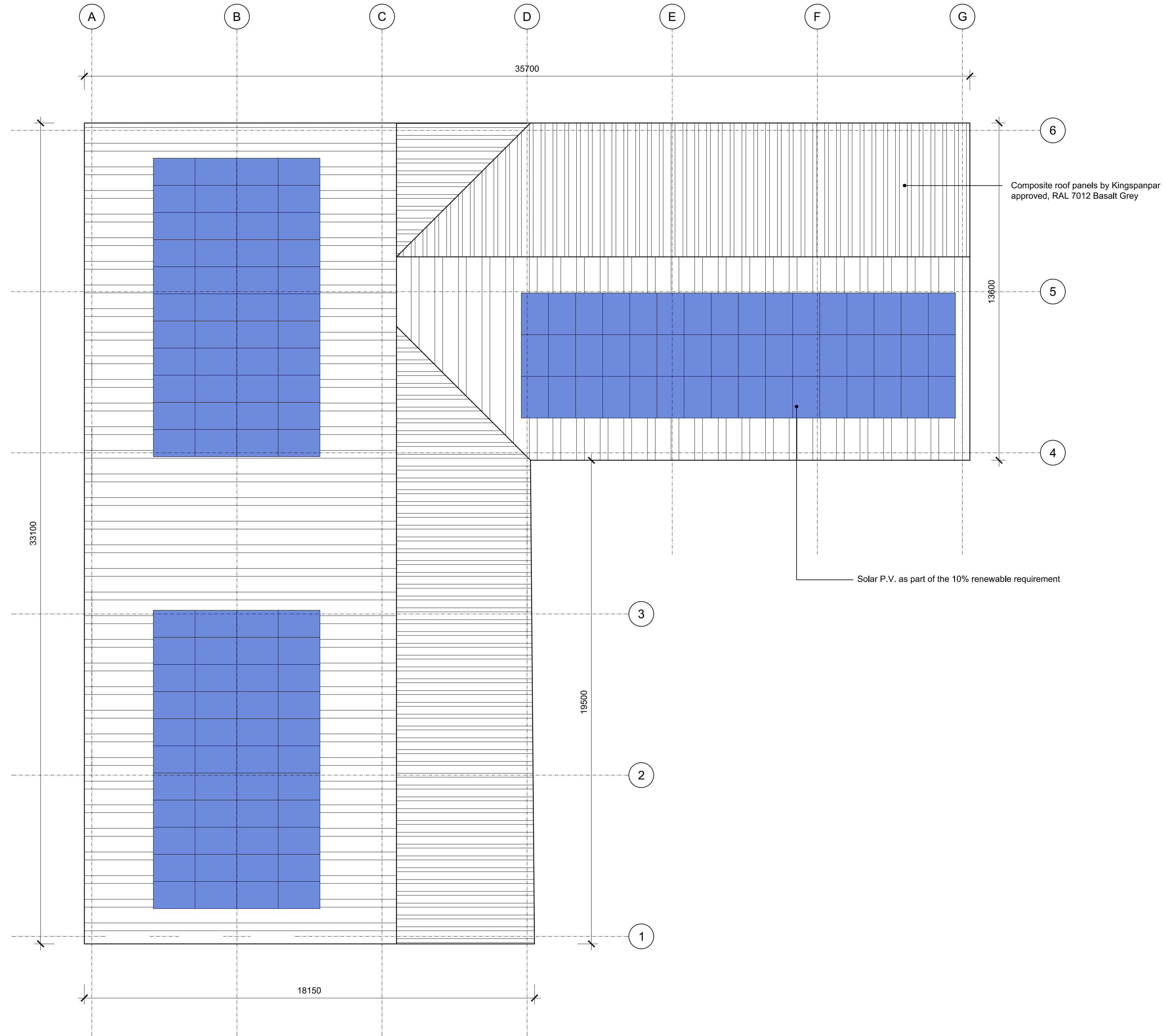
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PROPOSED ROOF PLAN

66

Revision	Date	Description	Drawn	Checked
C	07.07.17	Additional information added for Planning Stage Issue	DU	IB
B	05.10.16	Revised to suit our latest plans	DU	IB
A	16.09.16	Revised to suit Client's requirements	DU	IB



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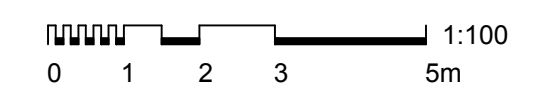
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Project: **St Thomas More High School
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Essex SS0 0BW**

Drawing Title: **Proposed Roof Plan
Proposed Expansion Project to 6FE**

Client: **St Thomas More High School**



Drawn	Checked	Date	Scale	Paper Size
DU	IB	09.09.16	1:100	A1
Job No.	Dwg No.	Stage	Revision	
62519	102	Planning	C	

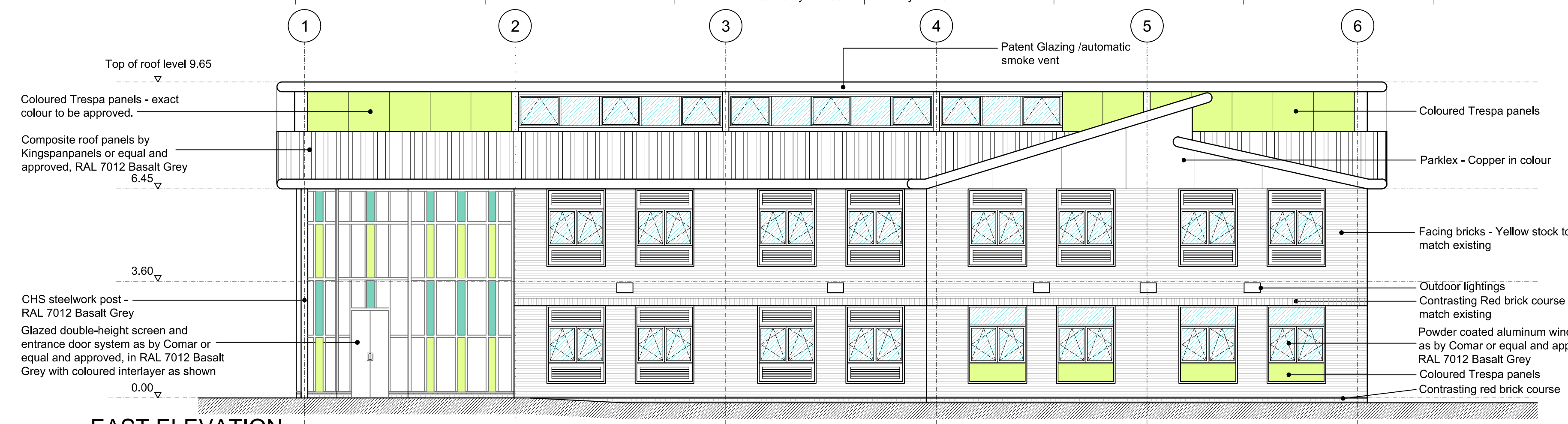
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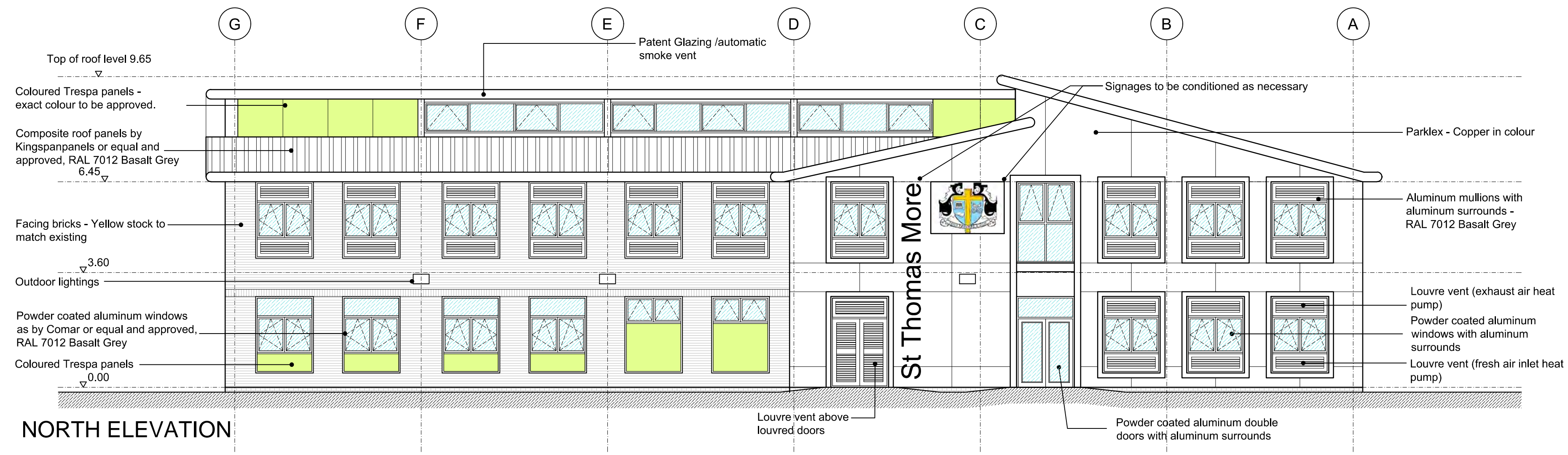
LEGEND: DO NOT SCALE



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

MATERIAL PALETTE:

Glazed double-height reception area glazing and sliding door system; <http://www.comar-alu.co.uk/window-walling/> (or equal and approved), in RAL 7012 Basalt Grey with coloured interlayers as shown. (Note all curtain walling areas are to have internal blinds)

Individual aluminium windows / doors; <http://www.comar-alu.co.uk/windows> (or equal and approved), in RAL 7012 Basalt Grey, with matching vents as shown. Where shown also coloured Trespa infill panels <http://www.trespa.com/uk/product/trespa-meteor-facades> - exact colour to be approved, with solar body tint (in approved colour) to south and south west facing elevations.

Brickwork and mortar, where shown, to match existing from http://wienerberger.co.uk/product-search?wb_condition=ProductType:1366306088345 to match existing as far as possible in Buff / Yellow multi-stock (main wall areas) and red multi-stock (for contrasting bands, plinths and details), or equal and approved.

Surround to windows; Ply-backed PPC aluminium sheeting in RAL 7012 Basalt Grey.

Rainscreen Cladding; <http://www.parklex.com/products/facade/> in Copper, cut to size and fitted in secret fix, random pattern, as shown. Add link to fireproofing quantities.

Bullnosed Facias / soffits / downpipes and cappings or flashings in PPC Coated aluminium; <http://www.dales-eaves.co.uk/fascia.html>, or equal and approved, with downpipe profile; http://www.alumascrainwater.co.uk/aluminium-downpipes/flushjoint/3/c3_2, or equal and approved, all in RAL 7012 Basalt Grey.

High performance profiled composite roofing system; <http://www.kingspanpanels.co.uk/panels/products/insulated-roof-panels/trapezoidal-rw/> (or equal and approved), in standard colour range to match as far as possible RAL 7012 Basalt Grey.

Add a note also to say;

Refer to 3D/Artists impression.

Refer to M and E drawings and spec for details of external lighting.

Sports fencing to new tennis courts; <https://www.jacksons-security.co.uk/sports-fencing/rebound.aspx>, or equal and approved in Grass Green RAL 6010.

Revision	Date	Description	Drawn	Checked
E	07.07.17	Additional information added for planning stage issue	DU	IB
D	15.12.16	Revised to suit planner's pre-app comments	DU	IB
C	05.10.16	Revised to suit our latest plans	DU	IB
B	23.09.16	Revised to suit Client's requirements	DU	IB
A	16.09.16	Revised to suit Client's requirements	DU	IB



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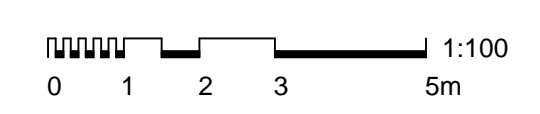
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Drawing Title: **Proposed Elevations
Proposed Expansion Project to 6FE**

Client: **St Thomas More High School**

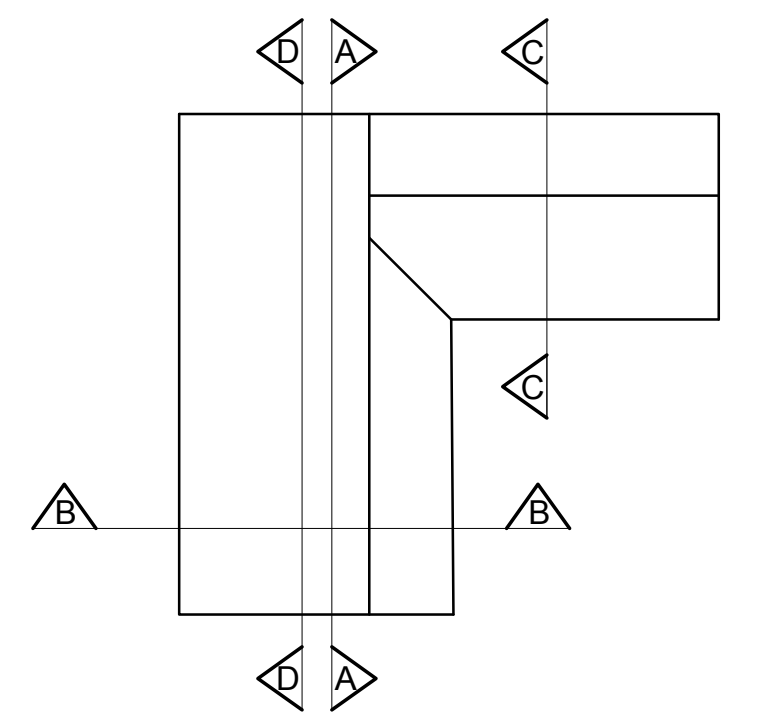
Drawn	Checked	Date	Scale	Paper Size
DU	IB	09.09.16	1:100	A1
Job No.	Dwg No.	Stage	Revision	
62519	103	Planning	E	



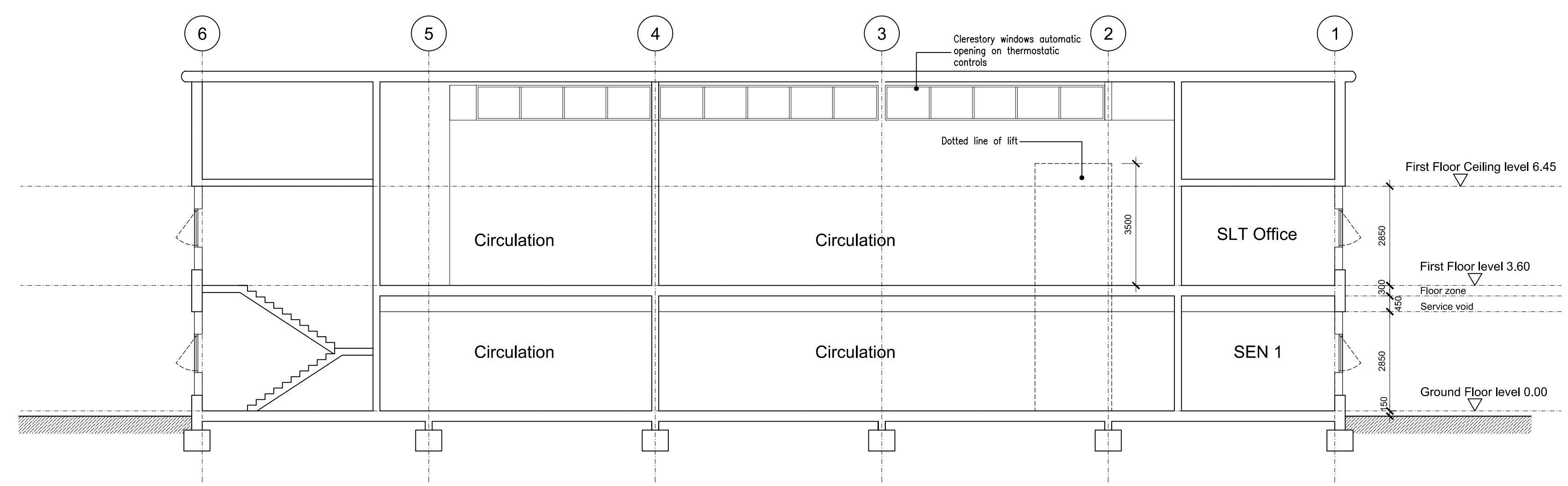
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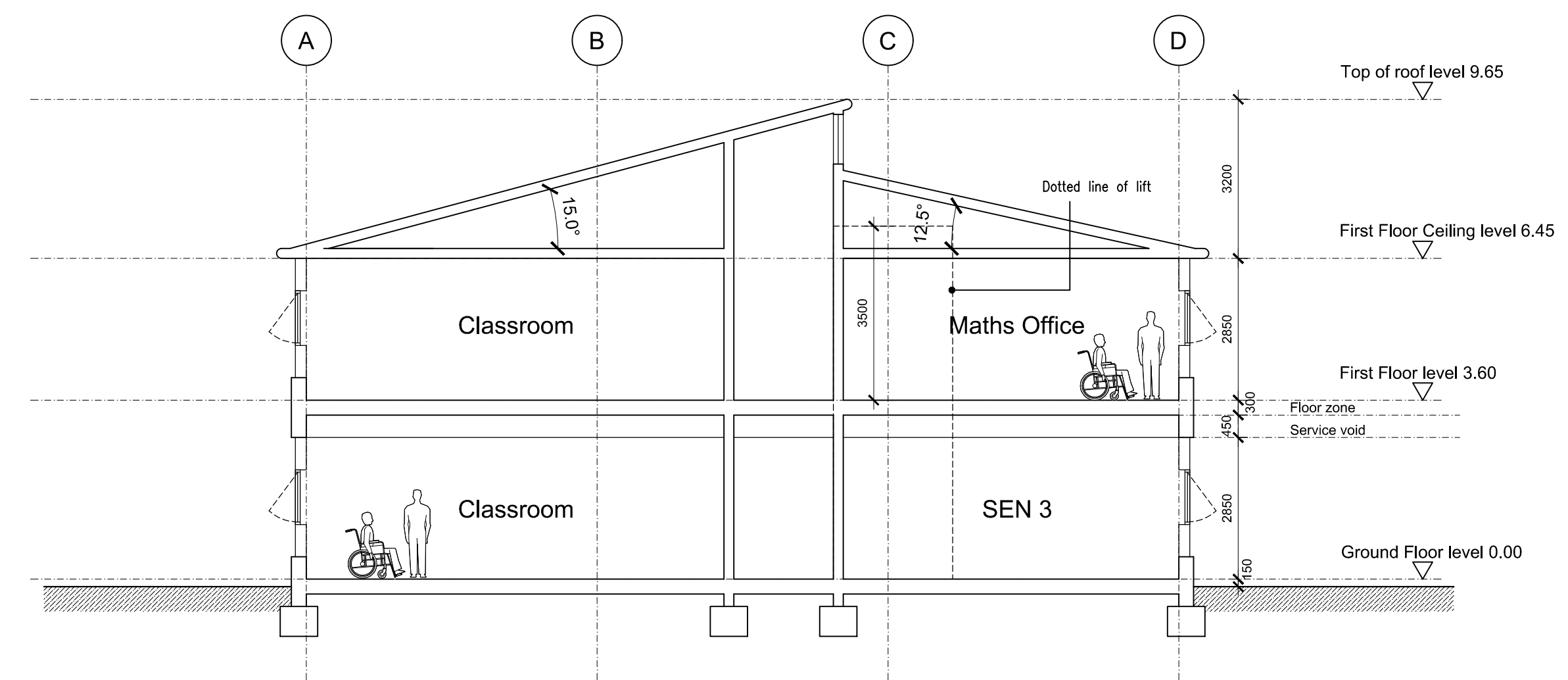
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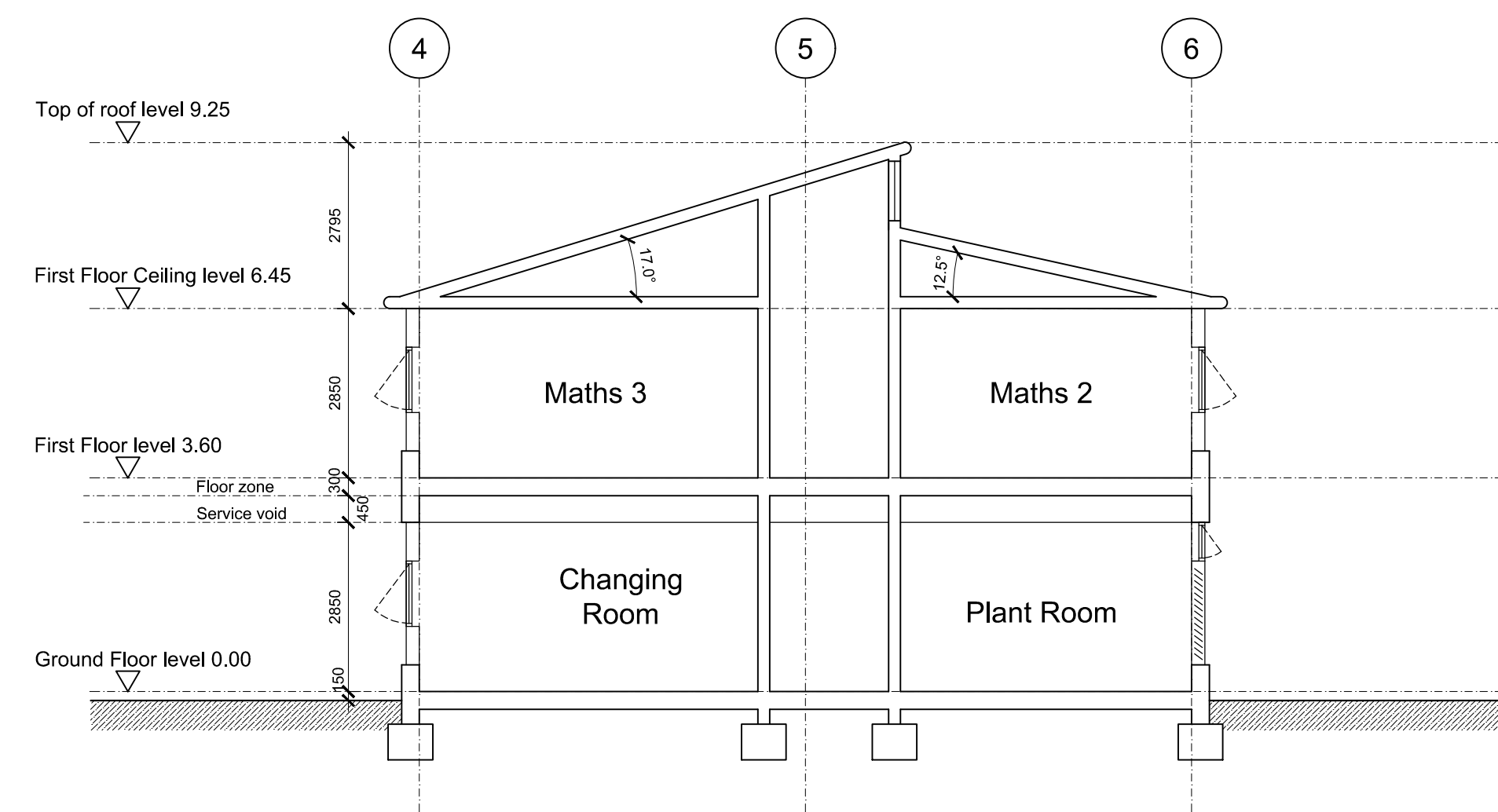
Location Reference



TYPICAL LONG SECTION A - A

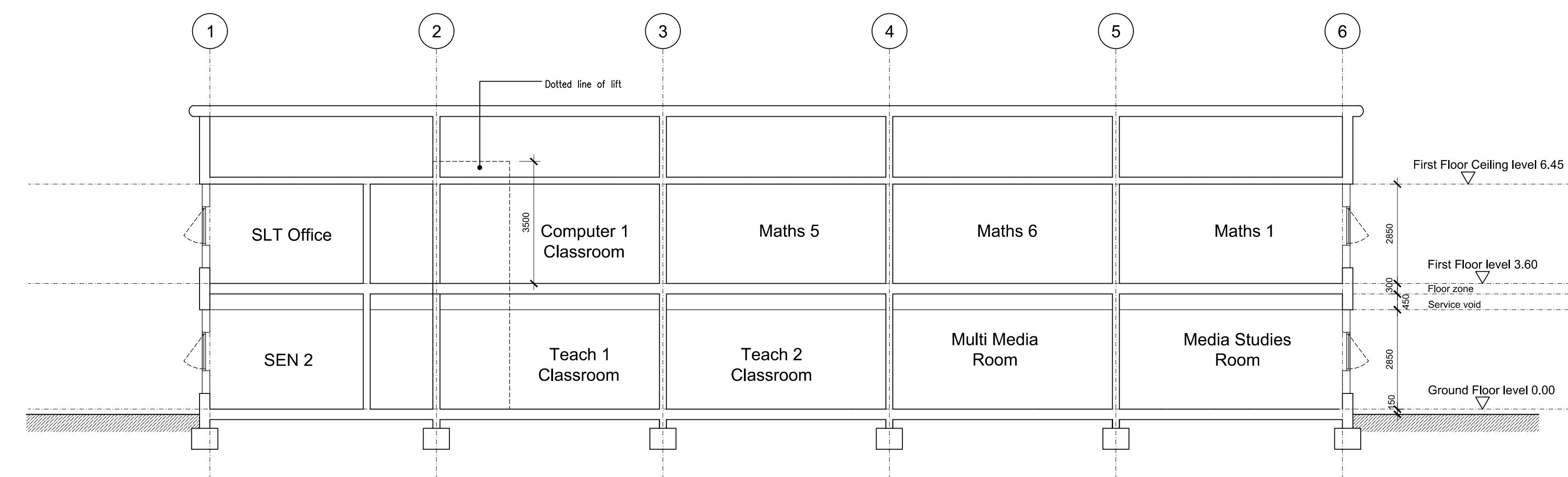


TYPICAL CROSS SECTION B - B

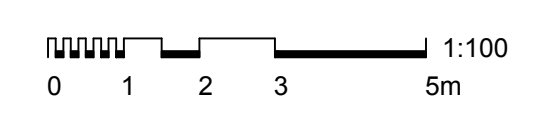


TYPICAL CROSS SECTION C - C

Refer to separate acoustic consultants report to comply with Building Bulletin



TYPICAL LONG SECTION D - D



C	07.07.17	Planning Stage Issue	DU	IB
B	05.10.16	Revised to suit our latest plans	DU	IB
A	16.09.16	Revised to suit Client's requirements	DU	IB
Revision:	Date:	Description:	Drw:	Chk:

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Drawing Title: **Proposed Sections**
Proposed Expansion Project to 6FE

Client: **St Thomas More High School**

Drawn:	Checked:	Date:	Scale:	Paper Size:
DU	IB	09.09.16	1:100	A1
Job No.:	Dwg No.:	Stage:	Revision:	
62519	104	Planning	C	

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Red line is 'Application site 2' refer to separate Archeological Report.

New 3000mm high weld mesh sports fence and security doors (RAL 6010 'Grass Green')
 Area = 2232m²

There is historical evidence from Southend Museum of a 'Crop Marks' in this area. As such, an archeological watching brief is proposed & a condition is accepted. (Refer to Independent Archeological Report.)

Note for Tree protection measures: Root Protection Area (R.P.A.) as shown dotted. Provide Tree and Hedge protective fencing to recommendations of BS5837:2012 to be erected to protect the root system of the retained trees.

Existing all weather pitch fencing

New gate in fence and new short tarmac path

Artificial Sport Pitches (All weather Hockey/Football)

Existing tarmac path

Access footpath route to Tennis courts as shown dotted route line as existing tarmac path

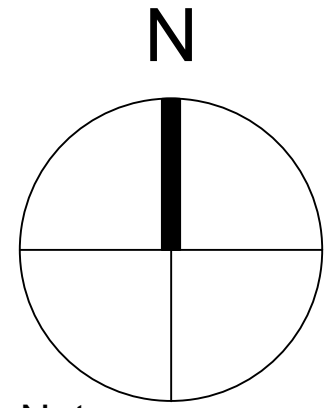
Reposition of existing jump pit

Existing gate

Existing footpath

Grass Sport Pitches (Football for Winter Use & Cricket for Summer Use)

Existing footpath



Note
 Access to new tennis courts is via the existing footpath to all weather pitch then via the existing tarmac pathway within all weather pitch fencing then out via a new gate in the fence and onto a new short tarmac pathway onto the tennis courts

Sports Pitches (Grass/Summer use)
 (Operated by Westcliff Grammar School for Girls and Boys)

Sustainable underground create system - commercial Envireau rainwater harvesting or similar approved to suit capacity and size.

Note on floor plans that the indoor gym is air conditioned.

224000 TO RESIDENTIAL BOUNDARY

Red line is 'Application site 1' refer to separate Archeological Report.

PROPOSED SITE PLAN 1:500

F	11.09.17	Access footpath route amended.	DU	IB
E	06.09.17	Access footpath line to new Tennis court added	DU	IB
D	07.07.17	Additional information added for Planning Stage	DU	IB
C	14.12.16	Additional information added to suit the Pre-App officer's recommendations	DU	IB
B	12.10.16	Green container repositioned	DU	IB
A	06.10.16	Revised L shaped building	DU	IB
Revision:	Date:	Description:	Drawn:	Chk:

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Drawing Title: Proposed Site Plan - option B
 Proposed Expansion Project to 6FE

Client: St Thomas More High School

Drawn:	Checked:	Date:	Scale:	Paper Size:
DU	IB	19.09.16	1:500	A1
Job No.:	Dwg No.:	Stage:	Revision:	
62519	108	Planning	F	

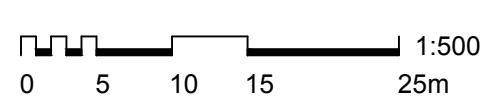
Note:
 Exact area of Tarmac play area lost = 1960m² (not including driveway)
 So therefore Net Gain of Play area overall is 2232m² - 1960m² = 272m²

Application site area = 2750m²

19no car spaces (existing)

Note:
 Refer to separate soil & contamination report. Refer to Structural/Civil's drawings for location of SW attenuation tank to comply with S.U.D's requirement

10no car spaces (existing) including 2no disabled



Existing Access

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Reference:	17/01574/FULM	<h1>5</h1>
Ward:	Chalkwell	
Proposal:	Form additional self-contained flat to sixth floor with terrace	
Address:	The Shore, 22 - 23 The Leas, Westcliff-On-Sea, Essex	
Applicant:	Westbrook Properties	
Agent:	SKArchitects	
Consultation Expiry:	27.10.2017	
Expiry Date:	15.12.2017	
Case Officer:	Kara Elliott	
Plan No's:	P71, P41, P50, P51, P60, P70, P40, P30, P21, P20, P10, P11, 134166-LP-CP-13-A	
Recommendation:	GRANT PLANNING PERMISSION	



The Proposal

- 1.1 The application seeks permission for the extension and modification of the building of The Shore, formerly known as Nirvana, to enable the formation of a new self-contained flat at the sixth floor with a private terrace.
- 1.2 The wider site is the subject of a lengthy planning history that is set out in full detail in section 8. In summary, two buildings were approved at the site under the terms of application 07/00820/FULM and 07/00850/FUL and subsequently erected to a condition that resembled completion. The ownership of the building is understood to have changed and this led to amendments to the building being sought and approved in December 2014 and February 2015. Recent planning application 16/00328/FUL proposed further modifications to the building including the provision of roof terraces, the creation of an additional residential unit within the building and several minor alterations. Similar amendments were also approved under the terms of applications 16/00790/NON and 16/00791/NON. In addition, 16/01103/FUL granted planning permission for two private roof terraces at sixth and eighth floor level. Planning permission was refused and dismissed at appeal earlier this year to layout 16 car parking spaces to the rear and install a replacement entrance gate and acoustic fencing (17/00362/FUL). This application is currently subject to a judicial review.
- 1.3 This application proposes further alterations and extensions and seeks to utilise a communal terrace on the sixth floor by constructing a new 1 bedroom/2 person apartment measuring 63m², consisting of a flat roof element viewed from the north (rear) with continuation of the 'sail' design feature at the east and west flank elevations with two new windows to the rear and one to the front. A large glass opening to the rear would provide access to a private terrace overlooking the Grosvenor Mews, measuring 30m². The overall increase in height at its highest point is approximately 1.6 metres above the existing height on that part of the building. No part of the proposed development would result in an increase in height above the highest part of the existing building.
- 1.4 The proposed development would result in the number of flats increasing to 48 flats from the current 47. It should also be noted that planning permission is currently pending for a further flat at the eighth floor which, if granted, would result in 49 flats at the application site.
- 1.5 The application falls to be considered by the Development Control Committee at the request of Cllr Habermel.

2 Site and Surroundings

- 2.1 The application site is located in a prominent location of the seafront at the junction of The Leas and Grosvenor Road. The site measures a maximum of 83 metres deep and 68 metres wide and contains a residential development with 9 floors of residential accommodation.
- 2.2 The application site is located outside The Leas Conservation Area but within close proximity to it.

3 Planning Considerations

- 3.1 The main considerations in relation to this application are the principle of the development, design and impact on the character and appearance of the area, traffic and transportation including parking, impact on residential amenity, standard of accommodation, sustainable construction and CIL contributions.

4 Appraisal

Principle of Development

National Planning Policy Framework, Core Strategy (2007) Policies KP1, KP2, CP4 and CP8, Development Management Document (2015) policies DM1, DM3, DM7, DM8 and the Design and Townscape Guide (2009)

- 4.1 The site is previously developed land and it is therefore relevant to Core Strategy policy CP8, which supports the provision of dwellings on such land; subject to detailed considerations. It is expected that the intensification of development will play a role in meeting the housing needs of the Borough.
- 4.2 Government advice currently states that all sites should be examined in order to determine their potential for redevelopment for residential purposes. It should also be noted that Government Policy is to maximise the use of urban land. As such there is no objection in principle to one or two new residential units within this site.
- 4.3 On this basis, subject to the detailed considerations that will be undertaken below, it is considered that the policy framework supports the broad principle of undertaking residential development at this site. Furthermore, at the time of the previous applications, no objection was raised in relation to the principle of the development.

Design and Impact on the Character of the Area

National Planning Policy Framework, Core Strategy (2007) Policies KP2 and CP4, Development Management (2015) policies DM1, DM3 and the Design and Townscape Guide (2009).

- 4.4 It should be noted that good design is a fundamental requirement of new development to achieve high quality living environments. Its importance is reflected in the NPPF, in the Policies KP2 and CP4 of the Core Strategy and also in Policy DM1 of the Development Management Document. The Design and Townscape Guide (2009) also states that *“the Borough Council is committed to good design and will seek to create attractive, high-quality living environments.”*
- 4.5 Paragraph 56 of the NPPF states that *“good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”*
- 4.6 Policy DM1 of the Development Management DPD states that all development should *“add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features”*.

- 4.7 According to Policy KP2 of Core Strategy (CS) new development should “*respect the character and scale of the existing neighbourhood where appropriate*”. Policy CP4 of CS requires that development proposals should “*maintain and enhance the amenities, appeal and character of residential areas, securing good relationships with existing development, and respecting the scale and nature of that development*”.
- 4.8 When designing a new building or an extension it is important that the development integrates with existing buildings. This is best done by identifying the positive characteristics and relationships formed by the existing buildings e.g. frontage lines, heights of ridges and eaves, proportions, materials etc. and respecting them in the design of the new development (Paragraph 64, Design and Townscape Guide). Similarly, section 5.3 of the Design and Townscape Guide is clear in that the key to successful integration of infill sites into the existing character is to draw strong references from the surrounding buildings. For example, maintaining the scale, materials, frontage lines and rooflines of the neighbouring properties reinforces the rhythm and enclosure of the street.
- 4.9 The proposed extensions to form the proposed apartment will increase the overall height of the building at this part by approximately 1.6m. Due to the continuation of the existing building form and design when viewed from the rear and the flank elevation when viewed from Grosvenor Road, and in consideration of the the very high level of the proposed development and largely unavailable views from the public vista at street level, it is considered that the proposed development would not be at odds with the character or appearance of the existing building and would not cause harm to the character or appearance of the surrounding area. Furthermore, it is not considered that the proposed development would result in a shift in the appearance of the building causing demonstrable harm when viewed further away, for example at the higher land levels at the north of Grosvenor Road.
- 4.10 Furthermore, the arrangement of fenestration and the use of matching materials, including such detailing as the treatment for the terrace balustrading will ensure the development will appear commensurate with the existing building.
- 4.11 Given the pending status of a further apartment on the eighth floor (17/01716/FUL), it is necessary to consider the cumulative effect of both of the proposed developments. Separate assessment is given within the report for the proposed development on the eighth floor with regard to its impact upon the character and appearance of the building or the wider area. However, the cumulative effect of both proposals is not considered to impinge on the resulting character and appearance of the proposed development or the surrounding area.

Impact on Residential Amenity.

National Planning Policy Framework, Policies KP2 and CP4 of the Core Strategy (2007), Development Management (2015) Policies DM1 and DM3 and Design and Townscape Guide (2009).

- 4.12 Policies DM1 and DM3 of the Development Management Document and CP4 of the Core Strategy refer to the impact of development on surrounding occupiers. High quality development, by definition, should provide a positive living environment for its occupiers whilst not having an adverse impact on the amenity of neighbours.

Protection and enhancement of amenity is essential to maintaining people's quality of life and ensuring the successful integration of proposed development into existing neighbourhoods.

- 4.13 Paragraph 343 of SPD1 (under the heading of Alterations and Additions to Existing Residential Buildings) states, amongst other criteria, that extensions must respect the amenity of neighbouring buildings and ensure not to adversely affect light, outlook or privacy of the habitable rooms in adjacent properties. Policy DM1 of the Development Management Document also states that development should “Protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight.”
- 4.14 Given the existing use of the building as 47 residential apartments, it is considered that an additional unit of accommodation would not have a material impact on neighbouring occupiers in terms of noise, disturbance or levels of activity. In particular, the occupants of the existing apartment E19 which would be located immediately adjacent to the proposed development would not be adversely effected as there would be no opportunities for loss of privacy between properties or loss of outlook or dominant, overbearing impacts due to the orientation of the units, lack of openings and the separation distances of exterior amenity areas.
- 4.15 In terms of surrounding properties not within The Shore building, the proposed development would be positioned approximately 17 metres above the neighbouring property of Admirals Court. At the time of the previous application which considered the proposed roof terrace to be utilised, it was considered that views from the terrace would be outwards and above the neighbouring properties rather than towards the balconies and habitable rooms of the neighbouring flats. This is true with the proposed development. Where downward views would be achieved by a person standing at the edge of the roof terraces, it is considered that the views would primarily be towards the roofs of the neighbouring buildings and not into the habitable accommodation and amenity space.
- 4.16 Noting that the existing building already features balconies and terraces and many windows on the north elevation, it is considered that the development, which would see a further 3 windows to the east elevation and one to the west, would not cause overlooking of the neighbouring properties than the existing situation to be considered materially significant or worse and therefore no objection is raised.
- 4.17 Given the pending status of a further apartment on the eighth floor (17/01716/FUL), it is necessary to consider the cumulative effect of both of the proposed developments. Separate assessment is given within the report for the proposed development on the eighth floor with regard to its impact upon the amenity of residential amenity. However, the cumulative effect of both proposals is not considered to negatively affect the amenity of existing occupiers of the building or nearby occupiers due to their positions and orientations as outlined above.

Standard of Accommodation for Future Occupiers

National Planning Policy Framework, Policy KP2 and CP4 of the Core Strategy (2007), Development Management Document (2015) Policies DM1, DM3 and DM8 and the Design and Townscape Guide, National Technical Housing Standards.

4.18 Paragraph 17 of the NPPF states that “*planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings*”. It is considered that most weight should be given to the Technical Housing Standards that have been published by the government which are set out as per the below table:

- Minimum property size 1 bedroom (1 person) 37sqm-39sqm, 1 bedroom (2 persons) 50sqm, 2 bedroom (3 persons) 61sqm and 2 bedrooms (4 persons) 70sqm.
- Bedroom Sizes: The minimum floor area for bedrooms to be no less than 7.5m² for a single bedroom with a minimum width of 2.15m²; and 11.5m² for a double/twin bedroom with a minimum width of 2.75m or 2.55m in the case of a second double/twin bedroom.
- Floorspace with a head height of less than 1.5 metres should not be counted in the above calculations unless it is solely used for storage in which case 50% of that floorspace shall be counted.
- A minimum ceiling height of 2.3 metres shall be provided for at least 75% of the Gross Internal Area.

4.19 Weight should also be given to the content of policy DM8 which states the following standards in addition to the national standards;

- Provision of a storage cupboard with a minimum floor area of 1.25m² should be provided for 1-2 person dwellings. A minimum of 0.5m² storage area should be provided for each additional bed space.
- Amenity: Suitable space should be provided for a washing machine and for drying clothes, as well as private outdoor amenity, where feasible and appropriate to the scheme.
- Storage: Suitable, safe cycle storage with convenient access to the street frontage.
- Refuse Facilities: Non-recyclable waste storage facilities should be provided in new residential development in accordance with the Code for Sustainable Homes Technical Guide and any local standards. Suitable space should be provided for and recycling bins within the home. Refuse stores should be located to limit the nuisance caused by noise and smells and should be provided with a means for cleaning, such as a water supply.

- Working: Provide suitable space which provides occupiers with the opportunity to work from home. This space must be able to accommodate a desk and filing/storage cupboards.
- 4.20 The proposed residential unit would measure 63m² and would be considered as 1 bedroom, 2 person unit. Furthermore, the proposed development would provide adequate areas of storage and openings within the unit allow for good levels of daylight and result in a high standard of accommodation for future occupiers.
- 4.21 The required amount of amenity space for a development will be determined on a site by site basis taking into account local parks and the constraints of the site. Developments that provide little or no private amenity space will only be acceptable in exceptional circumstances and will be required to justify their reasons. The existing flats benefit from private balconies providing sitting-out areas for each apartment. A rear ground floor communal amenity space which formed part of the original planning permission is currently unused and not in a useable condition.
- 4.22 Whilst the proposed development would result in the loss of the newly formed communal terrace at the sixth floor, it is considered, on balance, that the private balcony for each apartment of approximately 10m², coupled with the benefit of the nearby amenities of local open spaces, including the seafront itself, would mean that the loss of the existing communal terrace would not result in detriment to the amenity of future occupiers from a poor standard of living for existing or future occupiers of the newly formed flat or existing occupiers of the other flats on the site.
- 4.23 It is therefore considered, on balance, that the proposed residential unit would provide suitable living accommodation for future occupants and the existing occupiers of the development in line with the National Planning Policy Framework, policies KP2 and CP4 of the Core Strategy, policies DM1, DM3 and DM8 and the National Technical Housing Standards and advice contained within the Design and Townscape Guide.

Traffic and Transport Issues

National Planning Policy Framework, Policies KP2, CP3 and CP4 of the Core Strategy 2007, Development Management 2015 Policies DM1, DM3 and DM15 and the Design and Townscape Guide.

- 4.24 Policy DM15 of the Development Management Document states: *“5. All development should meet the parking standards (including cycle parking) set out in Appendix 6. Residential vehicle parking standards may be applied flexibly where it can be demonstrated that the development is proposed in a sustainable location with frequent and extensive links to public transport and/or where the rigid application of these standards would have a clear detrimental impact on local character and context. Reliance upon on-street parking will only be considered appropriate where it can be demonstrated by the applicant that there is on-street parking capacity”.*
- 4.25 The newly formed apartment would require one off-street parking space in line with the adopted standards. The existing car park for the development contains a total of 51 spaces for the 47 apartments.

Comments have been received from objectors which suggest that car parking spaces have been sold to existing residents and in some cases more than one space per apartment and therefore the availability of parking has been reduced. However, the applicant has provided a plan which confirms that the proposed development would have a parking space. Therefore it is considered that the existing car park can suitably accommodate the existing and proposed parking needs and would not result in an increase in the need for nearby on-street parking, to the detriment of the free flow of traffic or the movements of pedestrians.

- 4.26 The existing bin store and cycle parking within the building is also considered to suitably and conveniently accommodate the proposed development.
- 4.27 Given the pending status of a further apartment on the eighth floor (17/01716/FUL), it is necessary to consider the cumulative effect of both of the proposed developments. Separate assessment is given within the report for the proposed development on the eighth floor with regard to its impact upon highway and parking. However, the cumulative effect of both proposals is not considered to impinge on the resulting availability of on-site parking or highway movements/safety.

Sustainable Construction

National Planning Policy Framework; Core Strategy (2007) policy KP2, Development Management (2015) Policy DM2 and the Design and Townscape Guide (2009).

- 4.28 Policy KP2 of the Core Strategy states:

“All development proposals should demonstrate how they will maximise the use of renewable and recycled energy, water and other resources. This applies during both construction and the subsequent operation of the development. At least 10% of the energy needs of new development should come from on-site renewable options (and/or decentralised renewable or low carbon energy sources), such as those set out in the Design and Townscape Guide”.

- 4.29 The provision of renewable energy resources should be considered at the earliest opportunity to ensure an intrinsic design. No details have been provided in relation to renewable energy. However, it is considered that an appropriate condition in relation to submission of details and features of on-site renewables could be imposed.

Community Infrastructure Levy (CIL)

CIL Charging Schedule 2015

- 4.30 The application is for creation of a new dwelling. This application is CIL liable and there will be a CIL charge payable. Section 143 of the Localism Act 2011 states that any financial sum that an authority has received, will, or could receive, in payment of CIL is a material ‘local finance consideration’ in planning decisions. The CIL chargeable rate for residential units in this location is £60 per square metre and this equates to a CIL charge of £5,850.00.

5 Conclusion

- 5.1 Having regard to all material considerations assessed above, it is considered that subject to compliance with the attached conditions, the proposed development would be acceptable and compliant with the objectives of the relevant local development plan policies and guidance as well as those contained within the National Planning Policy Framework. The proposed development would have an acceptable impact on the amenities of neighbouring occupiers and the character and appearance of the application site and the locality more widely. The proposal would not result in any adverse impact on parking provision or highways safety and it provides suitable condition for its future occupiers. This application is therefore recommended for approval, subject to conditions.

6 Planning Policy Summary

- 6.1 National Planning Policy Framework; 4. Promoting sustainable transport, 6. Delivering a wide choice of high quality homes, 7. Requiring good design, 8. Promoting healthy communities, 10. Meeting the challenge of climate change, flooding and coastal change.
- 6.2 Core Strategy (2007) Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Transport and Accessibility), CP4 (The Environment and Urban Renaissance), CP8 (Dwelling Provision)
- 6.3 Development Management Document (2015) Policies DM1 (Design Quality), DM2 (Low Carbon Development and Efficient Use of Resources), DM3 (The Efficient and effective use of land), DM7 (Dwelling Mix, Size and Type), DM8 (Residential Standards), DM15 (Sustainable Transport Management)
- 6.4 The Design & Townscape Guide 2009

7 Representation Summary

Transport & Highways

- 7.1 No objection

8 Public Consultation

- 8.1 A site notice was posted at the site and letters were sent to 95 neighbouring residents. 17 letters of representation have been received.

Summary of objections;

- Noise and disturbance during construction;
- Loss of light and air;
- Loss of privacy;
- Contravention of lease;
- Previous planning conditions not complied with;

- Harm to neighbouring occupier amenity;
- Strain on elevators;
- Harm to air quality;
- Concerns regarding scaffolding;
- Lack of parking including adequately sized spaces;
- Lack of space for more refuse bins;
- The pleasing design and appearance of the existing building would be compromised;
- Loss of communal amenity spaces.

8.2 Officer Comment: These concerns are noted and they have been taken into account in the assessment of the application and discussed in the relevant above sections. However, they are not found to represent a reasonable basis to refuse planning permission in the circumstances of this case. Furthermore, appropriate conditions could be attached to any positive decision in order to minimise or mitigate potential harm from construction work.

9 Relevant Planning History

9.1 Under the terms of application 07/00850/FUL planning permission was granted for the erection of a 9 storey block of 9 flats linked to and utilising parking facilities beneath the development at no. 22 The Leas. The development of 22 The Leas was granted under the terms of application 07/00820/FULM. Various applications have since been submitted which related to conditions and minor amendments but are not considered to be of relevance to considerations of this application.

9.2 Recent planning applications 16/00328/FUL proposed further modifications to the building including the provision of roof terraces, the creation of an additional residential unit within the building and several minor alterations. In addition, 16/01103/FUL granted planning permission for two private roof terraces at sixth and eighth floor level. Similar amendments were also approved under the terms of applications 16/00790/NON and 16/00791/NON.

10 Recommendation

8.1 It is recommended that planning permission be GRANTED subject to the following conditions:

01 The development hereby permitted shall begin no later than three years from the date of this decision.

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

02 The development hereby permitted shall be carried out in accordance with the following approved plans: P71, P41, P50, P51, P60, P70, P40, P30, P21, P20, P10, P11, 134166-LP-CP-13-A.

Reason: To ensure that the development is carried out in accordance with the provisions of the Development Plan

- 03** All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings hereby approved or are required by conditions to this permission.

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is as set out in the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy KP2 and CP4, Development Management DPD policy DM1, and Design and Townscape Guide) (2009).

- 04** Prior to occupation of the development hereby approved details of energy efficiency and other sustainability measures to be included in the scheme, including the provision of at least 10% of the energy needs of the development hereby approved being provided from onsite renewable sources, shall be submitted to, agreed in writing by the Local Planning Authority and implemented on site in accordance with the agreed details unless otherwise agreed in writing by the Local Planning Authority.

Reason: To minimise the environmental impact of the development through efficient use of resources and better use of sustainable and renewable resources in accordance with the National Planning Policy Framework, DPD1 (Core Strategy) policy KP2 and CP4, and SPD1 (Design and Townscape Guide).

- 05** Before the dwelling hereby approved is occupied, one parking space within the existing on site car park as shown on drawing 134166-LP-CP-13 shall be allocated to the occupier/s of the development hereby approved. The parking space shall be permanently retained thereafter for occupiers and visitors to the dwelling only.

Reason: To ensure that adequate car parking is provided and retained to serve the development in accordance with Policies CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management 2015.

- 06** Prior to commencement of development, details of the terrace privacy screen shall be submitted to and approved by the Local Planning Authority. The screen shall be installed in accordance with the approved details prior to first use of the balcony and shall be permanently retained thereafter.

Reason: To safeguard character and appearance of surrounding area and the amenities of neighbouring occupiers in accordance with Policies KP2 and CP4 of the Core Strategy 2007, Policy DM1 and DM3 of the Development Management Document 2015 and the Design and Townscape Guide 2009.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

INFORMATIVE

1. Please note that the development the subject of this application is liable for a charge under the Community Infrastructure Levy Regulations 2010 (as amended). Enclosed with this decision notice is a Community Infrastructure Levy (CIL) Liability Notice for the attention of the applicant and any person who has an interest in the land. This contains details including the chargeable amount, when this is payable and when and how exemption or relief on the charge can be sought. You are advised that a CIL Commencement Notice (CIL Form 6) must be received by the Council at least one day before commencement of development. Receipt of this notice will be acknowledged by the Council. Please ensure that you have received both a CIL Liability Notice and acknowledgement of your CIL Commencement Notice before development is commenced. Most claims for CIL relief or exemption must be sought from and approved by the Council prior to commencement of the development. Charges and surcharges may apply, and exemption or relief could be withdrawn if you fail to meet statutory requirements relating to CIL. Further details on CIL matters can be found on the Council's website at www.southend.gov.uk/cil.

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Car Parking Allocation August 2017



Lease Plan

THE SHORE
24 The Leas, WESTCLIFF ON SEA SS0 8FF

Lower Ground Floor



Location Plan
Scale 1:1250

— Lease Demise

Notes:

Care should be taken when drawings are printed to avoid image distortion.

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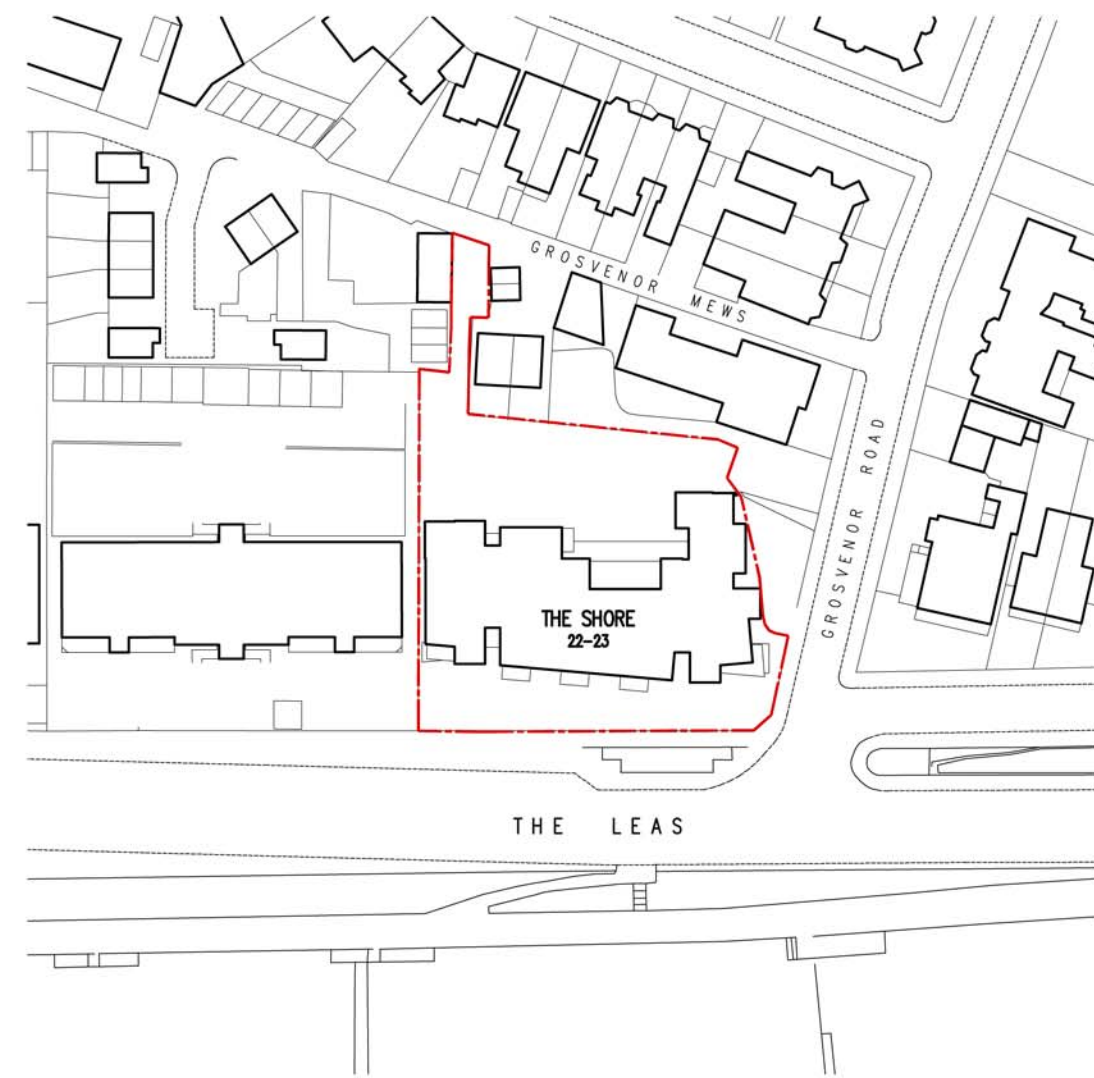
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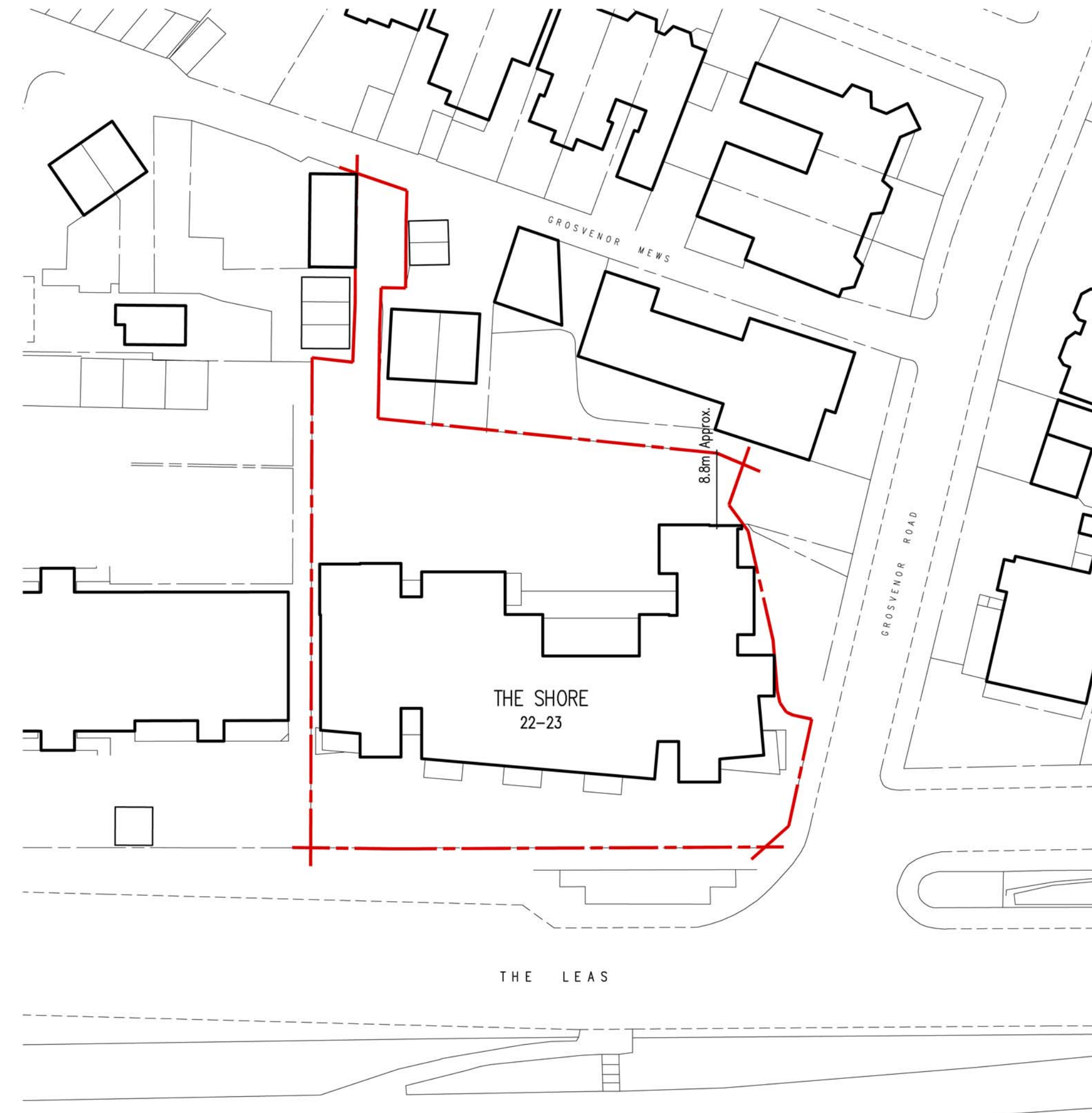
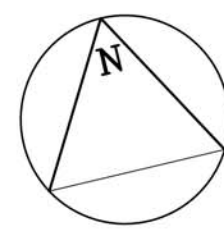
Address:	The Shore 24 The Leas Westcliff-on-Sea SS0 8FF
Drawing:	Parking Lease Plan
Date:	27/04/2016 Project No. 134166
Scale:	1:200@A3
Drawn:	PF Checked: ICS
Dwg. No.	134166-LP-CP-13 Rev. A

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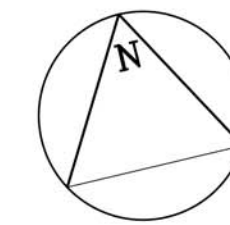
Location Plan

SCALE 1 : 1250 0m 10m 20m 50m 70m 100m
 SCALE 1 : 1 0m 10mm 20mm 40mm 60mm 80mm



Site Plan

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 SCALE 1 : 1 0m 10mm 20mm 40mm 60mm 80mm 100mm



STATUS: AWAITING APPROVAL

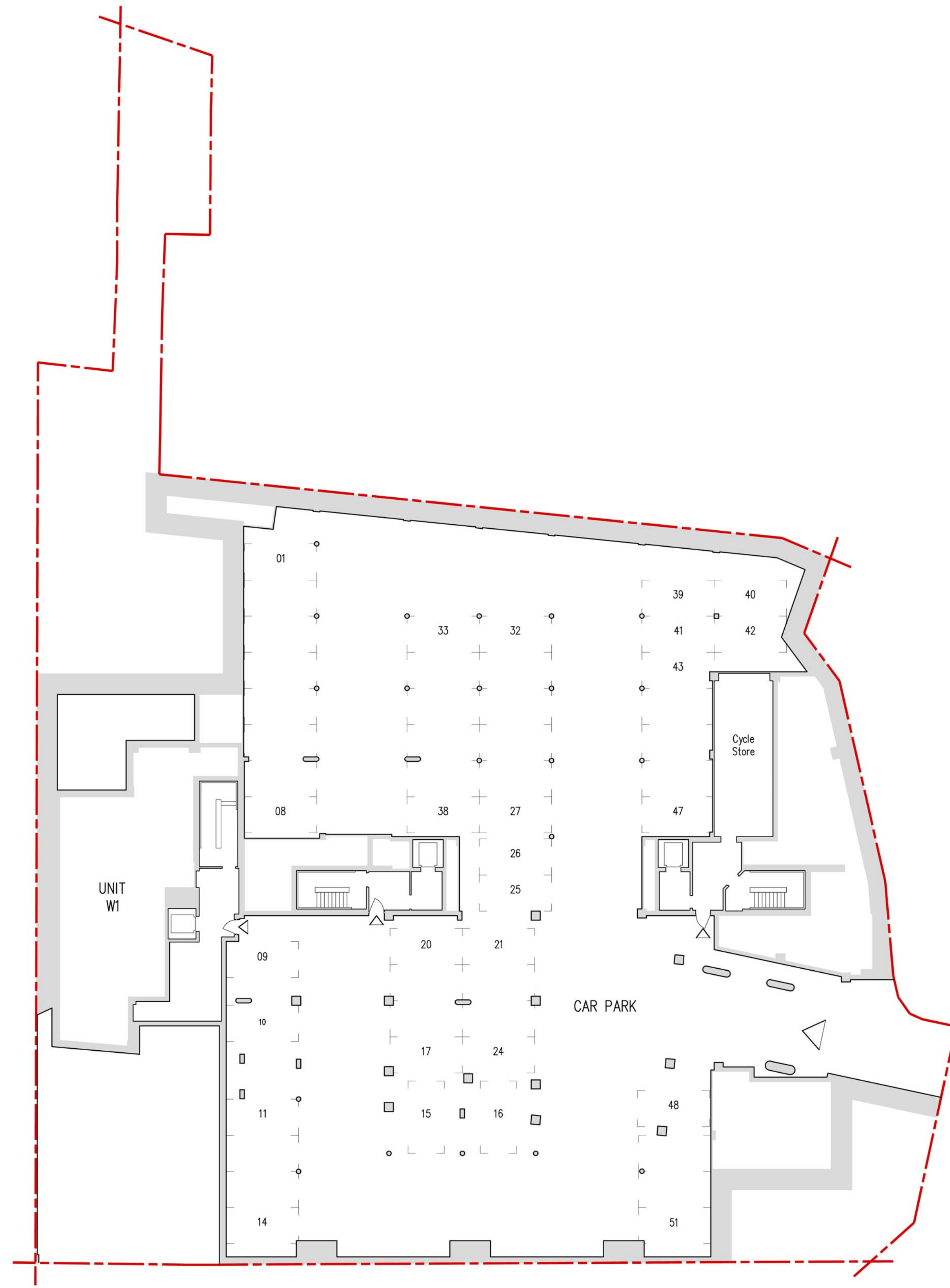
PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 9FZ
 PROJECT NO: 411-01-17 PAGE NO: P10 REVISION: -
 DRAWING: Location Plan and Site Plan
 SCALE: 1:1250 & 1:500 @ A1

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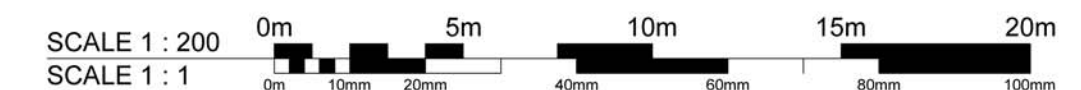
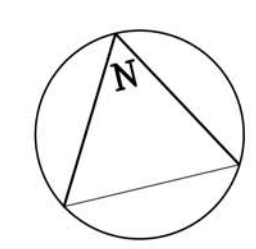
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Existing Lower Ground Floor Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building
 PROJECT NO: 411-01-17
 DRAWING: Existing Lower Ground Floor Plan

DRAWN BY: TCM
 CHECKED BY: MM
 Postcode: SS0 9FZ
 PAGE NO: P11
 REVISION: -

SCALE: 1:200 @ A1

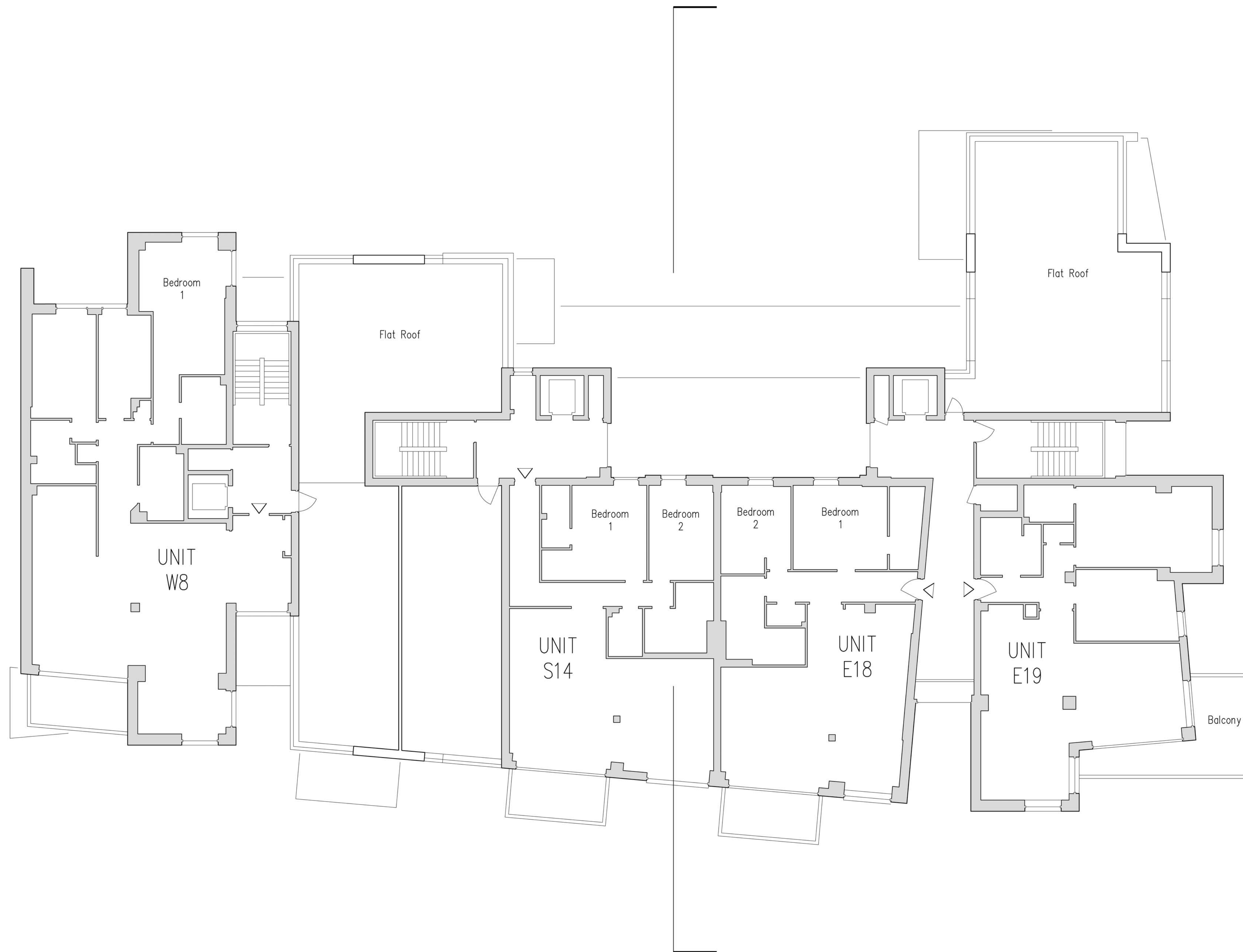
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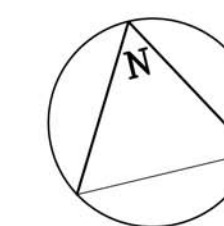
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29



Existing Sixth Floor Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary	DRAWN BY: TCM	CHKD BY: MM
CLIENT: Westbrook Properties		
PROJECT: The Shore Apartment Building		
PROJECT NO: 411-01-17	PAGE NO: P20	REVISION: -
DRAWING: Existing Sixth Floor Plan		
SCALE: 1:100 @ A1		

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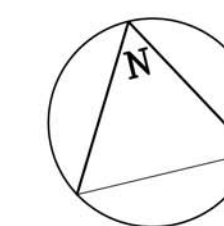
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Existing Roof Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary
 CLIENT: Westbrook Properties
 PROJECT: The Reef Apartment Building
 PROJECT NO: 411-01-17
 DRAWING: Existing Roof Plan

DRAWN BY: TCM
 CHECKED BY: MM
 POSTCODE: SS0 9FF
 PAGE NO: P21
 REVISION: -

SCALE: 1:100 @ A1

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LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

STATUS: **AWAITING APPROVAL**

PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 0FF
 PROJECT NO: 411-01-17 PAGE NO: P30 REVISION: -
 DRAWING: Existing Sectional West Elevation
 SCALE: 1:100 @ A1

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Existing Sectional West Elevation

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LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

Existing East Elevation (facing Grosvenor Road)

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building
 PROJECT NO: 411-01-17
 DRAWING: Existing East Elevation

DRAWN BY: TCM
 CHKD BY: MM

Postcode: SS0 9FF
 PAGE NO: P40
 REVISION: -

SCALE: 1:100 @ A1

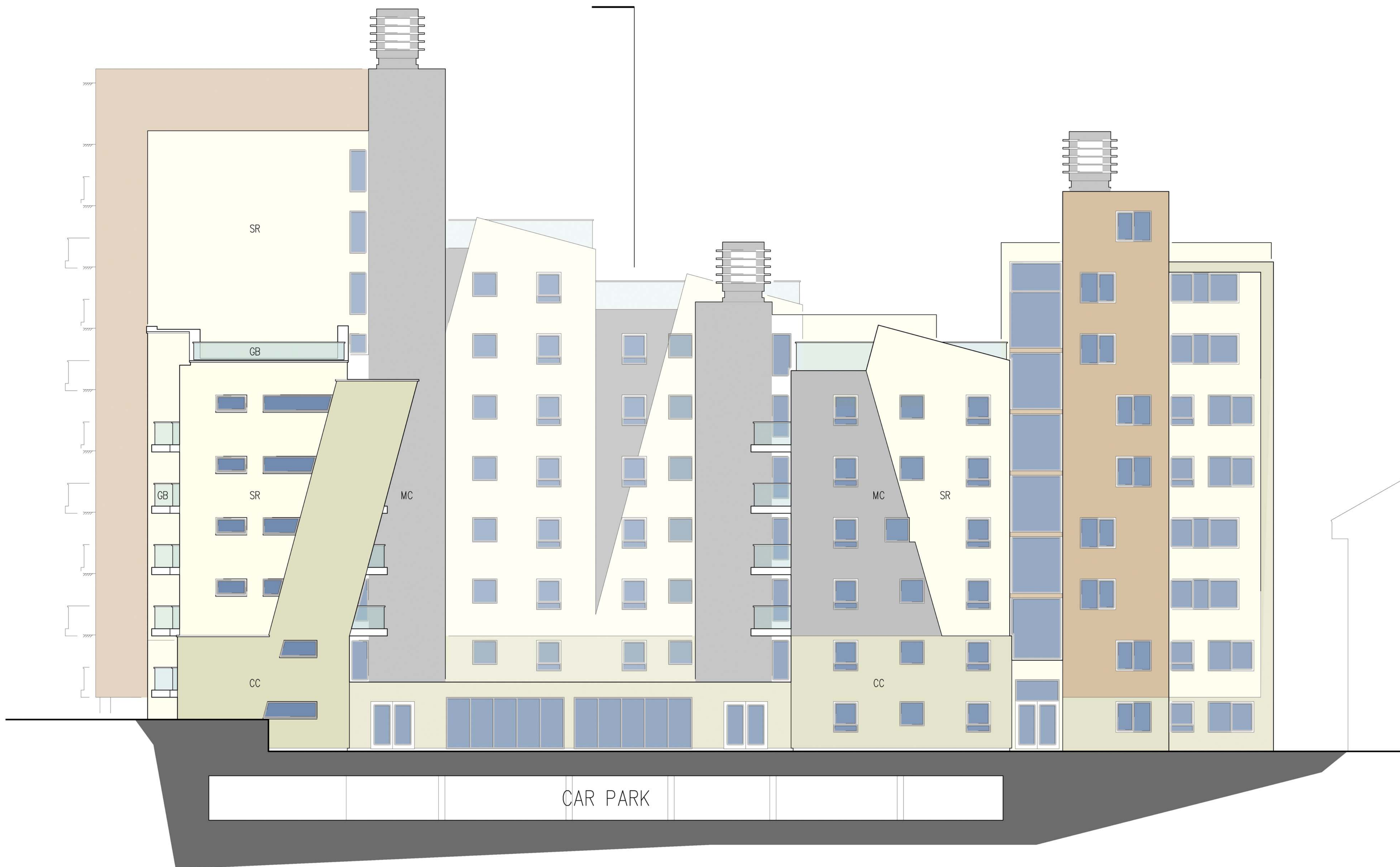
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LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

75

Existing North Elevation

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary	DRAWN BY: TCM	CHKD BY: MM
CLIENT: Westbrook Properties		
PROJECT: The Shore Apartment Building	Postcode: SS0 9SZ	
PROJECT NO: 411-01-17	PAGE NO: P41	REVISION: -
DRAWING: Existing North Elevation		
SCALE: 1:100 @ A1		

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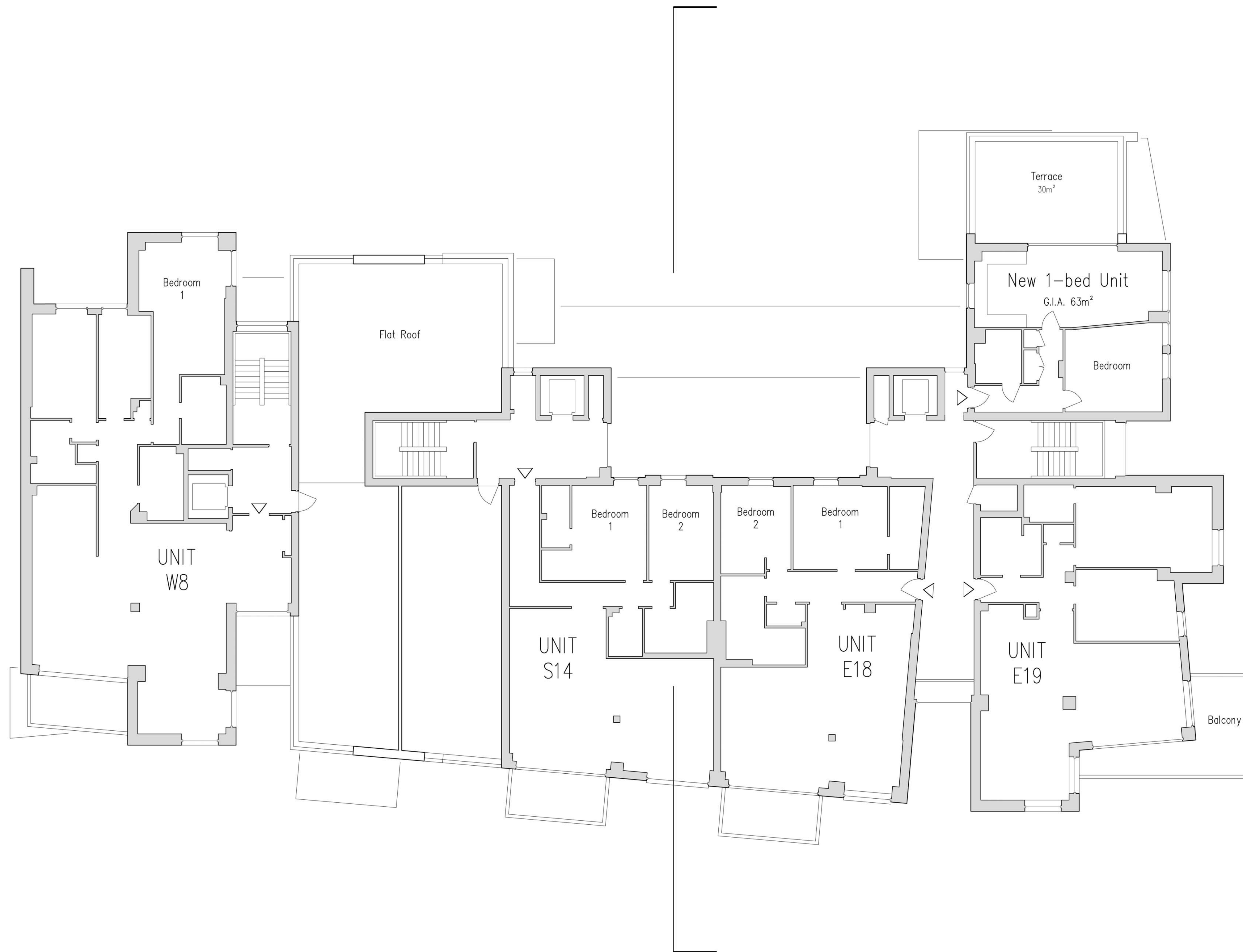
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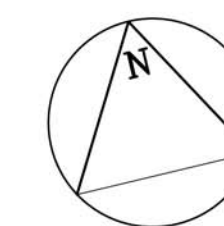


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77



Proposed Sixth Floor Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building
 PROJECT NO: 411-01-17
 DRAWING: Proposed Sixth Floor Plan

DRAWN BY: TCM
 CHECKED BY: MM

POSTCODE: SS0 9FZ
 PAGE NO: P50
 REVISION: -

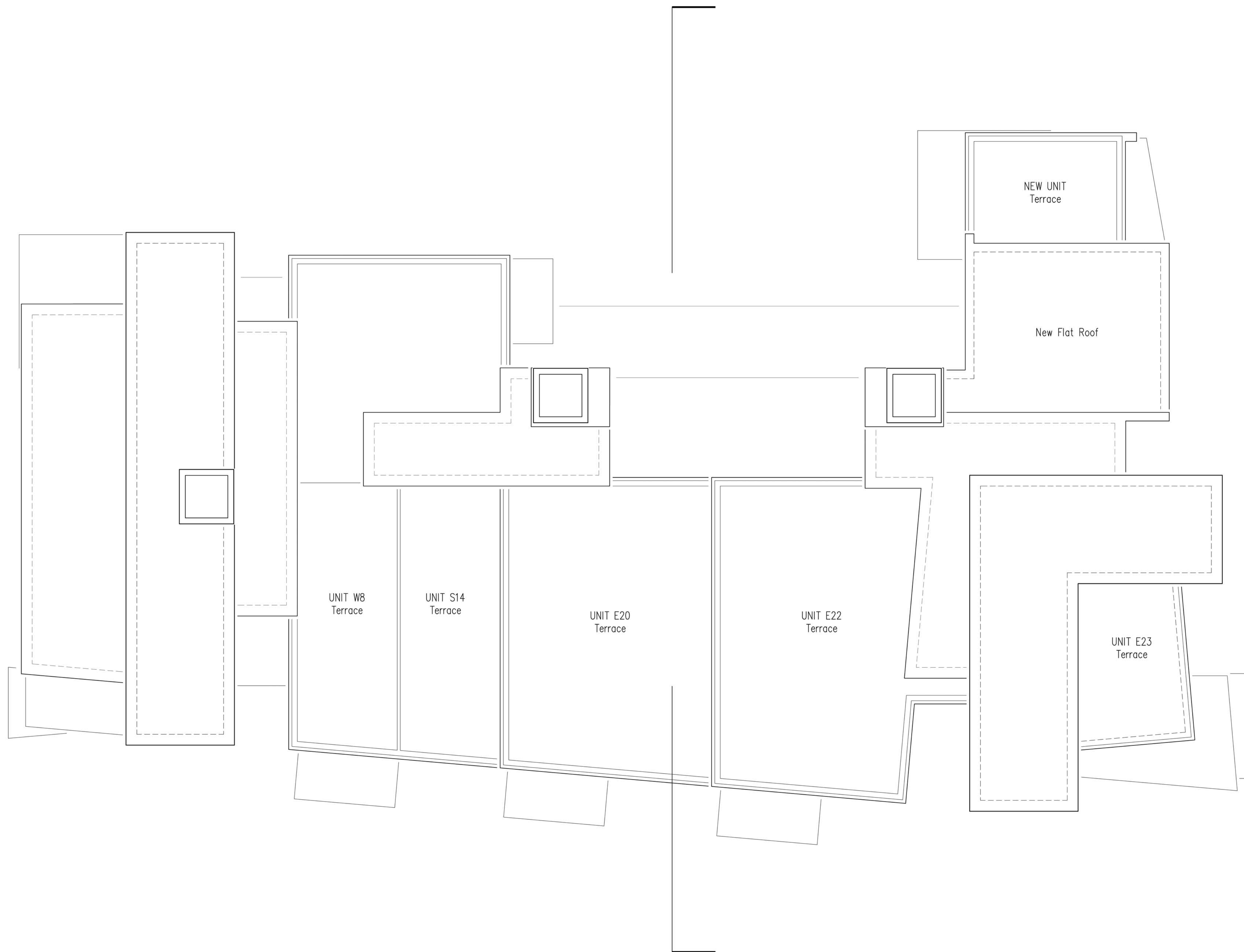
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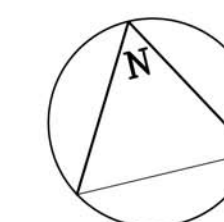
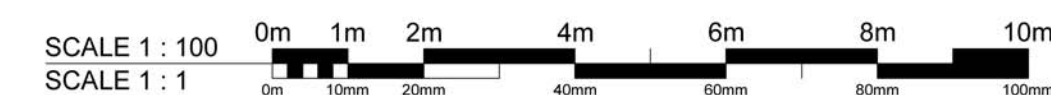
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Proposed Roof Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 9SZ
 PROJECT NO: 411-01-17 PAGE NO: P51 REVISION: -
 DRAWING: Proposed Roof Plan

SCALE: 1:100 @ A1

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LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

Proposed Sectional West Elevation

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 9FZ
 PROJECT NO: 411-01-17 PAGE NO: P60 REVISION: -
 DRAWING: Proposed Sectional West Elevation

SCALE: 1:100 @ A1

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83



LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

Proposed East Elevation (facing Grosvenor Road)

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Sheaf Apartment Building Postcode: SS0 9SZ
 PROJECT NO: 411-01-17 PAGE NO: P70 REVISION: -
 DRAWING: Proposed East Elevation
 SCALE: 1:100 @ A1

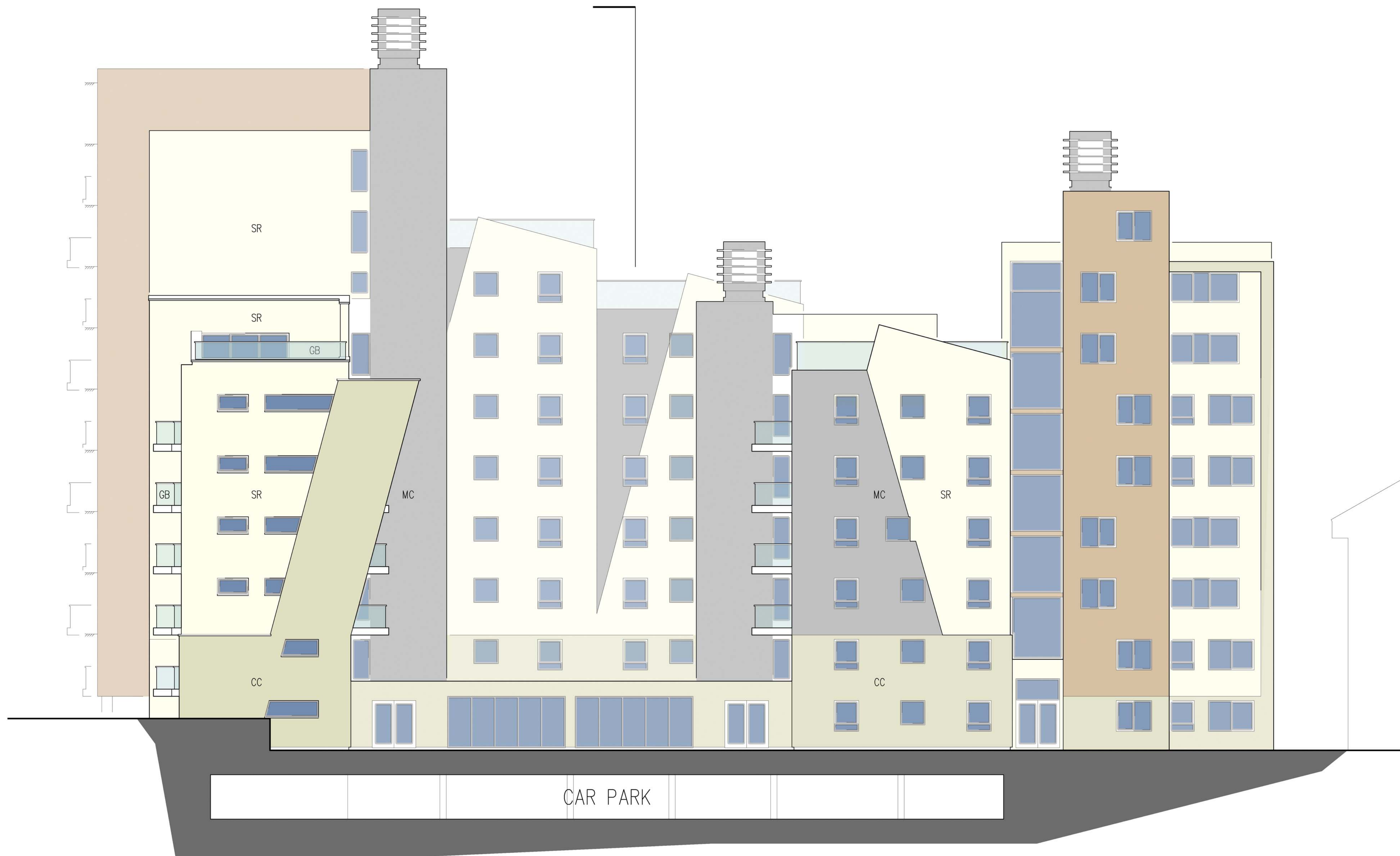
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LEGEND

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- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

STATUS: **AWAITING APPROVAL**

PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 9FZ
 PROJECT NO: 411-01-17 PAGE NO: P71 REVISION: -
 DRAWING: Proposed North Elevation
 SCALE: 1:100 @ A1

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Proposed North Elevation



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Reference:	17/01716/FUL	<h1>6</h1>
Ward:	Chalkwell	
Proposal:	Form additional self-contained flat to eighth floor with terrace	
Address:	The Shore, 22 - 23 The Leas, Westcliff-On-Sea, Essex	
Applicant:	Westbrook Properties	
Agent:	SKArchitects	
Consultation Expiry:	02.11.2017	
Expiry Date:	15.12.2017	
Case Officer:	Kara Elliott	
Plan Nos:	P42, P30, P41, P22, P21, P10, P11, P53, P72, P61, P73, P52, 134166-LP-CP-13-A	
Recommendation:	GRANT PLANNING PERMISSION	



1 The Proposal

- 1.1 The application seeks permission for the modification and extension of the building of The Shore, formerly known as Nirvana, to enable the formation of a new self-contained flat at the eighth floor with a private terrace.
- 1.2 The wider site is the subject of a lengthy planning history that is set out in full detail in section 9. In summary, two buildings were approved at the site under the terms of application 07/00820/FULM and 07/00850/FUL and subsequently erected to a condition that resembled completion. The ownership of the building is understood to have changed and this led to amendments to the building being sought and approved in December 2014 and February 2015. Recent planning application 16/00328/FUL proposed further modifications to the building including the provision of roof terraces, the creation of an additional residential unit within the building and several minor alterations. Similar amendments were also approved under the terms of applications 16/00790/NON and 16/00791/NON. In addition, 16/01103/FUL granted planning permission for two private roof terraces at sixth and eighth floor level. Planning permission was refused and dismissed at appeal earlier this year to layout 16 car parking spaces to the rear and install a replacement entrance gate and acoustic fencing (17/00362/FUL). This application is currently subject to a judicial review.
- 1.3 This application proposes further alterations and extensions and seeks to utilise a communal terrace (E22) on the eighth floor by constructing a new 2 bedroom/4 person apartment measuring 102m², consisting of a flat roof element with continuation of the 'sail' design feature at the rear with two new windows to the rear and one to the front. A large glass opening to the front of the flat roof element would provide access to a private terrace overlooking the estuary, measuring 19m². The overall increase in height of this part of the building at its highest point is approximately 2.95 metres. No part of the proposed development would result in an increase in height above the highest part of the existing building.
- 1.4 The proposed development would result in the number of flats at the site increasing to 48 from the current 47. It should also be noted that planning permission is currently pending for a further flat at the sixth floor which, if granted, would result in 49 flats at the application site.
- 1.5 The application falls to be considered by the Development Control Committee at the request of Cllr Habermel.

2 Site and Surroundings

- 2.1 The application site is located in a prominent location of the seafront at the junction of The Leas and Grosvenor Road. The site measures a maximum of 83 metres deep and 68 metres wide and contains a residential development with 9 floors of residential accommodation.
- 2.2 The application site is located outside The Leas Conservation Area but within close proximity to it.

3 Planning Considerations

- 3.1 The main considerations in relation to this application are the principle of the development, design and impact on the character and appearance of the area, traffic and transportation including parking, impact on residential amenity, standard of accommodation, sustainable construction and CIL contributions.

4 Appraisal

Principle of Development

National Planning Policy Framework, Core Strategy (2007) Policies KP1, KP2, CP4 and CP8, Development Management Document (2015) policies DM1, DM3, DM7, DM8 and the Design and Townscape Guide (2009)

- 4.1 The site is previously developed land and it is therefore relevant to Core Strategy policy CP8, which supports the provision of dwellings on such land; subject to detailed considerations where it is expected that the intensification of development will play a role in meeting the housing needs of the Borough.
- 4.2 Government advice currently states that all sites should be examined in order to determine their potential for redevelopment for residential purposes. It should also be noted that Government Policy is to maximise the use of urban land. As such there is no objection in principle to one or two new residential units within this site.
- 4.3 On this basis, subject to the detailed considerations that will be undertaken below, it is considered that the policy framework supports the broad principle of undertaking residential development at this site. Furthermore, at the time of the previous applications, no objection was raised in relation to the principle of the development.

Design and Impact on the Character of the Area

National Planning Policy Framework, Core Strategy (2007) Policies KP2 and CP4, Development Management (2015) policies DM1, DM3 and the Design and Townscape Guide (2009).

- 4.4 It should be noted that good design is a fundamental requirement of new development to achieve high quality living environments. Its importance is reflected in the NPPF, in the Policies KP2 and CP4 of the Core Strategy and also in Policy DM1 of the Development Management Document. The Design and Townscape Guide (2009) also states that *“the Borough Council is committed to good design and will seek to create attractive, high-quality living environments.”*
- 4.5 Paragraph 56 of the NPPF states that *“good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”*
- 4.6 Policy DM1 of the Development Management DPD states that all development should *“add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features”*.

- 4.7 According to Policy KP2 of Core Strategy (CS) new development should “*respect the character and scale of the existing neighbourhood where appropriate*”. Policy CP4 of CS requires that development proposals should “*maintain and enhance the amenities, appeal and character of residential areas, securing good relationships with existing development, and respecting the scale and nature of that development*”.
- 4.8 When designing a new building or an extension it is important that the development integrates with existing buildings. This is best done by identifying the positive characteristics and relationships formed by the existing buildings e.g. frontage lines, heights of ridges and eaves, proportions, materials etc. and respecting them in the design of the new development (Paragraph 64, Design and Townscape Guide). Similarly, section 5.3 of the Design and Townscape Guide is clear in that the key to successful integration of infill sites into the existing character is to draw strong references from the surrounding buildings. For example, maintaining the scale, materials, frontage lines and rooflines of the neighbouring properties reinforces the rhythm and enclosure of the street.
- 4.9 The proposed extensions to form the proposed apartment will increase the overall height of the building by approximately 2.95m. Due to the continuation of the existing building form and design when viewed from the rear and due to the very high level of the proposed development and largely unavailable views from the public vista at street level to the front of the building, it is considered that the proposed development would not be at odds with the character or appearance of the existing building and would not cause harm to the character or appearance of the surrounding area.
- 4.10 Furthermore, the arrangement of fenestration and the use of matching materials, including such detailing as the treatment for the terrace balustrading will ensure the development will appear commensurate with the existing building.
- 4.11 Given the pending status of a further apartment on the sixth floor (17/01574/FULM), it is necessary to consider the cumulative effect of both of the proposed developments. Separate assessment is given within the report for the proposed development on the sixth floor with regard to its impact upon the character and appearance of the building or the wider area. However, the cumulative effect of both proposals is not considered to impinge on the resulting character and appearance of the proposed development or the surrounding area.

Impact on Residential Amenity.

National Planning Policy Framework, Policies KP2 and CP4 of the Core Strategy (2007), Development Management (2015) Policies DM1 and DM3 and Design and Townscape Guide (2009).

- 4.12 Policies DM1 and DM3 of the Development Management Document and CP4 of the Core Strategy refer to the impact of development on surrounding occupiers. High quality development, by definition, should provide a positive living environment for its occupiers whilst not having an adverse impact on the amenity of neighbours. Protection and enhancement of amenity is essential to maintaining people's quality of life and ensuring the successful integration of proposed development into existing neighbourhoods.

- 4.13 Paragraph 343 of SPD1 (under the heading of Alterations and Additions to Existing Residential Buildings) states, amongst other criteria, that extensions must respect the amenity of neighbouring buildings and ensure not to adversely affect light, outlook or privacy of the habitable rooms in adjacent properties. Policy DM1 of the Development Management Document also states that development should “Protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight.”
- 4.14 Given the existing use of the building as 47 residential apartments, it is considered that an additional unit of accommodation would not have a material impact on neighbouring occupiers in terms of noise, disturbance or levels of activity. In particular, the occupants of the existing apartment E22 which would be located immediately adjacent to the proposed development would not be adversely effected as there would be no opportunities for loss of privacy between properties or loss of outlook or dominant, overbearing impacts within the conditions recommended due to the orientation of the units and the separation distances of exterior amenity areas.
- 4.15 In terms of surrounding properties not within The Shore building, the proposed development would be positioned approximately 10 metres above the neighbouring property of Admirals Court. At the time of the previous application which considered the proposed roof terrace ‘E22’, it was considered that views from the terrace would be outwards and above the neighbouring properties rather than towards the balconies and habitable rooms of the neighbouring flats. This is true with the proposed development. Where downward views would be achieved by a person standing at the edge of the roof terrace, due to its position at the front of the building, views would out towards the estuary and would not impinge on the privacy of any neighbouring occupiers.
- 4.16 Noting that the existing building already features balconies and terraces a many windows on the north elevation, it is considered that the development, which would see a further two windows to the rear north elevation, would not cause overlooking of the neighbouring properties than the existing situation to be considered materially significant or worse and therefore no objection is raised.
- 4.17 Given the pending status of a further apartment on the sixth floor (17/01574/FUL), it is necessary to consider the cumulative effect of both of the proposed developments. Separate assessment is given within the report for the proposed development on the sixth floor with regard to its impact upon the amenity of residential amenity. However, the cumulative effect of both proposals is not considered to negatively affect the amenity of existing occupiers of the building or nearby occupiers due to their positions and orientations as outlined above.

Standard of Accommodation for Future Occupiers

National Planning Policy Framework, Policy KP2 and CP4 of the Core Strategy (2007), Development Management Document (2015) Policies DM1, DM3 and DM8 and the Design and Townscape Guide, National Technical Housing Standards.

4.18 Paragraph 17 of the NPPF states that “*planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings*”. It is considered that most weight should be given to the Technical Housing Standards that have been published by the government which are set out as per the below table:

- Minimum property size 1 bedroom (1 person) 37sqm-39sqm, 1 bedroom (2 persons) 50sqm, 2 bedroom (3 persons) 61sqm and 2 bedrooms (4 persons) 70sqm.
- Bedroom Sizes: The minimum floor area for bedrooms to be no less than 7.5m² for a single bedroom with a minimum width of 2.15m²; and 11.5m² for a double/twin bedroom with a minimum width of 2.75m or 2.55m in the case of a second double/twin bedroom.
- Floorspace with a head height of less than 1.5 metres should not be counted in the above calculations unless it is solely used for storage in which case 50% of that floorspace shall be counted.
- A minimum ceiling height of 2.3 metres shall be provided for at least 75% of the Gross Internal Area.

4.19 Weight should also be given to the content of policy DM8 which states the following standards in addition to the national standards;

- Provision of a storage cupboard with a minimum floor area of 1.25m² should be provided for 1-2 person dwellings. A minimum of 0.5m² storage area should be provided for each additional bed space.
- Amenity: Suitable space should be provided for a washing machine and for drying clothes, as well as private outdoor amenity, where feasible and appropriate to the scheme.
- Storage: Suitable, safe cycle storage with convenient access to the street frontage.
- Refuse Facilities: Non-recyclable waste storage facilities should be provided in new residential development in accordance with the Code for Sustainable Homes Technical Guide and any local standards. Suitable space should be provided for and recycling bins within the home. Refuse stores should be located to limit the nuisance caused by noise and smells and should be provided with a means for cleaning, such as a water supply.
- Working: Provide suitable space which provides occupiers with the opportunity to work from home. This space must be able to accommodate a desk and filing/storage cupboards.

4.20 The proposed residential unit would measure 102m²; with the revised existing unit measuring 120m², and would both be considered as two bedroom, four person units. Furthermore, the proposed development would provide adequate areas of storage and openings within the unit allow for good levels of daylight and result in a high standard of accommodation for future occupiers.

- 4.21 The required amount of amenity space for a development will be determined on a site by site basis taking into account local parks and the constraints of the site. Developments that provide little or no private amenity space will only be acceptable in exceptional circumstances and will be required to justify their reasons. The existing flats benefit from private balconies providing sitting-out areas for each apartment. A rear ground floor communal amenity space which formed part of the original planning permission is currently unused and is not currently useable.
- 4.22 Whilst the proposed development would result in the loss of the newly formed communal terrace at the eighth floor, 'E22', it is considered, on balance, that the private balcony for each apartment of approximately 10m², coupled with the benefit of the nearby amenities of local public open spaces, including the seafront itself, would mean that the loss of the existing communal terrace would not result in detriment to the amenity of future occupiers from a poor standard of living for future occupiers of the newly formed flat or existing occupiers.
- 4.23 It is therefore considered, on balance, that the proposed residential unit would provide suitable living accommodation for future occupants and the existing occupiers of the development in line with the National Planning Policy Framework, policies KP2 and CP4 of the Core Strategy, policies DM1, DM3 and DM8 and the National Technical Housing Standards and advice contained within the Design and Townscape Guide.

Traffic and Transport Issues

National Planning Policy Framework, Policies KP2, CP3 and CP4 of the Core Strategy 2007, Development Management 2015 Policies DM1, DM3 and DM15 and the Design and Townscape Guide.

- 4.24 Policy DM15 of the Development Management Document states: *"5. All development should meet the parking standards (including cycle parking) set out in Appendix 6. Residential vehicle parking standards may be applied flexibly where it can be demonstrated that the development is proposed in a sustainable location with frequent and extensive links to public transport and/or where the rigid application of these standards would have a clear detrimental impact on local character and context. Reliance upon on-street parking will only be considered appropriate where it can be demonstrated by the applicant that there is on-street parking capacity"*.
- 4.25 The newly formed apartment would require one off-street parking space in line with the adopted standards. The existing car park for the development contains a total of 51 spaces for the 47 apartments. Comments have been received from objectors which suggest that car parking spaces have been sold to existing residents and in some cases more than one space per apartment and therefore the availability of parking has been reduced. However, the applicant has provided a plan which confirms that the proposed development would have a parking space. Therefore it is considered that the existing car park can suitably accommodate the existing and proposed parking needs and would not result in an increase in the need for nearby on-street parking, to the detriment of the free flow of traffic or the movements of pedestrians.

- 4.26 The existing bin store and cycle parking within the building is also considered to suitably and conveniently accommodate the proposed development.
- 4.27 Given the pending status of a further apartment on the sixth floor (17/01574/FUL), it is necessary to consider the cumulative effect of both of the proposed developments. Separate assessment is given within the report for the proposed development on the sixth floor with regard to its impact upon highway and parking. However, the cumulative effect of both proposals is not considered to impinge on the resulting availability of on-site parking or highway movements/safety.

Sustainable Construction

National Planning Policy Framework; Core Strategy (2007) policy KP2, Development Management (2015) Policy DM2 and the Design and Townscape Guide (2009).

- 4.28 Policy KP2 of the Core Strategy states:

“All development proposals should demonstrate how they will maximise the use of renewable and recycled energy, water and other resources. This applies during both construction and the subsequent operation of the development. At least 10% of the energy needs of new development should come from on-site renewable options (and/or decentralised renewable or low carbon energy sources), such as those set out in SPD 1 Design and Townscape Guide”.

- 4.29 The provision of renewable energy resources should be considered at the earliest opportunity to ensure an intrinsic design. No details have been provided in relation to renewable energy. However, it is considered that an appropriate condition in relation to submission of details and features of on-site renewables could be imposed.

Community Infrastructure Levy (CIL)

CIL Charging Schedule 2015

- 4.30 The application is for creation of a new dwelling. This application is CIL liable and there will be a CIL charge payable. Section 143 of the Localism Act 2011 states that any financial sum that an authority has received, will, or could receive, in payment of CIL is a material ‘local finance consideration’ in planning decisions. The CIL chargeable rate for residential units in this location is £60 per square metre and this equates to a CIL charge of £7,260.00.

5 Conclusion

- 5.1 Having regard to all material considerations assessed above, it is considered that subject to compliance with the attached conditions, the proposed development would be acceptable and compliant with the objectives of the relevant local development plan policies and guidance as well as those contained within the National Planning Policy Framework. The proposed development would have an acceptable impact on the amenities of neighbouring occupiers and the character and appearance of the application site and the locality more widely.

The proposal would not result in any adverse impact on parking provision or highways safety and it provides adequate amenities for its future occupiers. This application is therefore recommended for approval, subject to conditions.

6 Planning Policy Summary

- 6.1 National Planning Policy Framework; 4. Promoting sustainable transport, 6. Delivering a wide choice of high quality homes, 7. Requiring good design, 8. Promoting healthy communities, 10. Meeting the challenge of climate change, flooding and coastal change.
- 6.2 Core Strategy (2007) Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Transport and Accessibility), CP4 (The Environment and Urban Renaissance), CP8 (Dwelling Provision)
- 6.3 Development Management Document (2015) Policies DM1 (Design Quality), DM2 (Low Carbon Development and Efficient Use of Resources), DM3 (The Efficient and effective use of land), DM7 (Dwelling Mix, Size and Type), DM8 (Residential Standards), DM15 (Sustainable Transport Management)
- 6.4 The Design & Townscape Guide 2009

7 Representation Summary

Transport & Highways

- 7.1 No objection

8 Public Consultation

- 8.1 A site notice was posted at the site and letters were sent to 95 neighbouring residents. 17 letters of representation have been received.

Summary of objections;

- Noise and disturbance during construction;
- Loss of light and air;
- Loss of privacy;
- Contravention of lease;
- Previous planning conditions not complied with;
- Harm to neighbouring occupier amenity;
- Strain on elevators;
- Harm to air quality;
- Concerns regarding scaffolding;
- Lack of parking including adequately sized spaces;
- Lack of space for more refuse bins;

- The pleasing design and appearance of the existing building would be compromised;
- Loss of communal amenity spaces.

8.2 Officer Comment: These concerns are noted and they have been taken into account in the assessment of the application and discussed in the relevant above sections. However, they are not found to represent a reasonable basis to refuse planning permission in the circumstances of this case. Furthermore, appropriate conditions could be attached to any positive decision in order to minimise or mitigate potential harm from construction work.

9 Relevant Planning History

9.1 Under the terms of application 07/00850/FUL planning permission was granted for the erection of a 9 storey block of 9 flats linked to and utilising parking facilities beneath the development at no. 22 The Leas. The development of 22 The Leas was granted under the terms of application 07/00820/FULM. Various applications have since been submitted which related to conditions and minor amendments but are not considered to be of relevance to considerations of this application.

9.2 Recent planning applications 16/00328/FUL proposed further modifications to the building including the provision of roof terraces, the creation of an additional residential unit within the building and several minor alterations. In addition, 16/01103/FUL granted planning permission for two private roof terraces at sixth and eighth floor level. Similar amendments were also approved under the terms of applications 16/00790/NON and 16/00791/NON.

10 Recommendation

Members are recommended to GRANT planning permission subject to the following conditions:

01 The development hereby permitted shall begin no later than three years from the date of this decision.

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

02 The development hereby permitted shall be carried out in accordance with the following approved plans: P42, P30, P41, P22, P21, P10, P11, P53, P72, P61, P73, P52

Reason: To ensure that the development is carried out in accordance with the provisions of the Development Plan

03 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings hereby approved or are required by conditions to this permission.

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is as set out in the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy KP2 and CP4, Development Management DPD policy DM1, and Design and Townscape Guide) (2009).

- 04** Prior to occupation of the development hereby approved details of energy efficiency and other sustainability measures to be included in the scheme, including the provision of at least 10% of the energy needs of the development hereby approved being provided from onsite renewable sources, shall be submitted to, agreed in writing by the Local Planning Authority and implemented on site in accordance with the agreed details unless otherwise agreed in writing by the Local Planning Authority.

Reason: To minimise the environmental impact of the development through efficient use of resources and better use of sustainable and renewable resources in accordance with the National Planning Policy Framework, DPD1 (Core Strategy) policy KP2 and CP4, and SPD1 (Design and Townscape Guide

- 05** One parking space within the existing on site car park shall be allocated to the occupier/s of the development hereby approved in accordance with drawing 134166-LP-CP-13-. The parking space shall be permanently retained thereafter for occupiers and visitors to the dwelling.

Reason: To ensure that adequate car parking is provided and retained to serve the development in accordance with Policies CP3 of the Core Strategy DPD1 and Policy DM15 of the Development Management 2015.

- 06** Prior to commencement of development, details of the terrace privacy screen shall be submitted to and approved by the Local Planning Authority. The screen shall be installed in accordance with the approved details prior to first use of the balcony and shall be permanently retained thereafter.

Reason: To safeguard character and appearance of surrounding area and the amenities of neighbouring occupiers in accordance with Policies KP2 and CP4 of the Core Strategy 2007, Policy DM1 and DM3 of the Development Management Document 2015 and the Design and Townscape Guide 2009.

INFORMATIVE

1. Please note that the development the subject of this application is liable for a charge under the Community Infrastructure Levy Regulations 2010 (as amended). Enclosed with this decision notice is a Community Infrastructure Levy (CIL) Liability Notice for the attention of the applicant and any person who has an interest in the land. This contains details including the chargeable amount, when this is payable and when and how exemption or relief on the charge can be sought. You are advised that a CIL Commencement Notice (CIL Form 6) must be received by the Council at least one day before commencement of development. Receipt of this notice will be acknowledged by the Council. Please ensure that you have received both a CIL Liability Notice and acknowledgement of your CIL Commencement Notice before development is commenced.

Most claims for CIL relief or exemption must be sought from and approved by the Council prior to commencement of the development. Charges and surcharges may apply, and exemption or relief could be withdrawn if you fail to meet statutory requirements relating to CIL. Further details on CIL matters can be found on the Council's website at www.southend.gov.uk/cil.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

Car Parking Allocation August 2017

Lease Plan

THE SHORE
24 The Leas, WESTCLIFF ON SEA SS0 8FF

Lower Ground Floor



Location Plan
Scale 1:1250

— Lease Demise

Notes:

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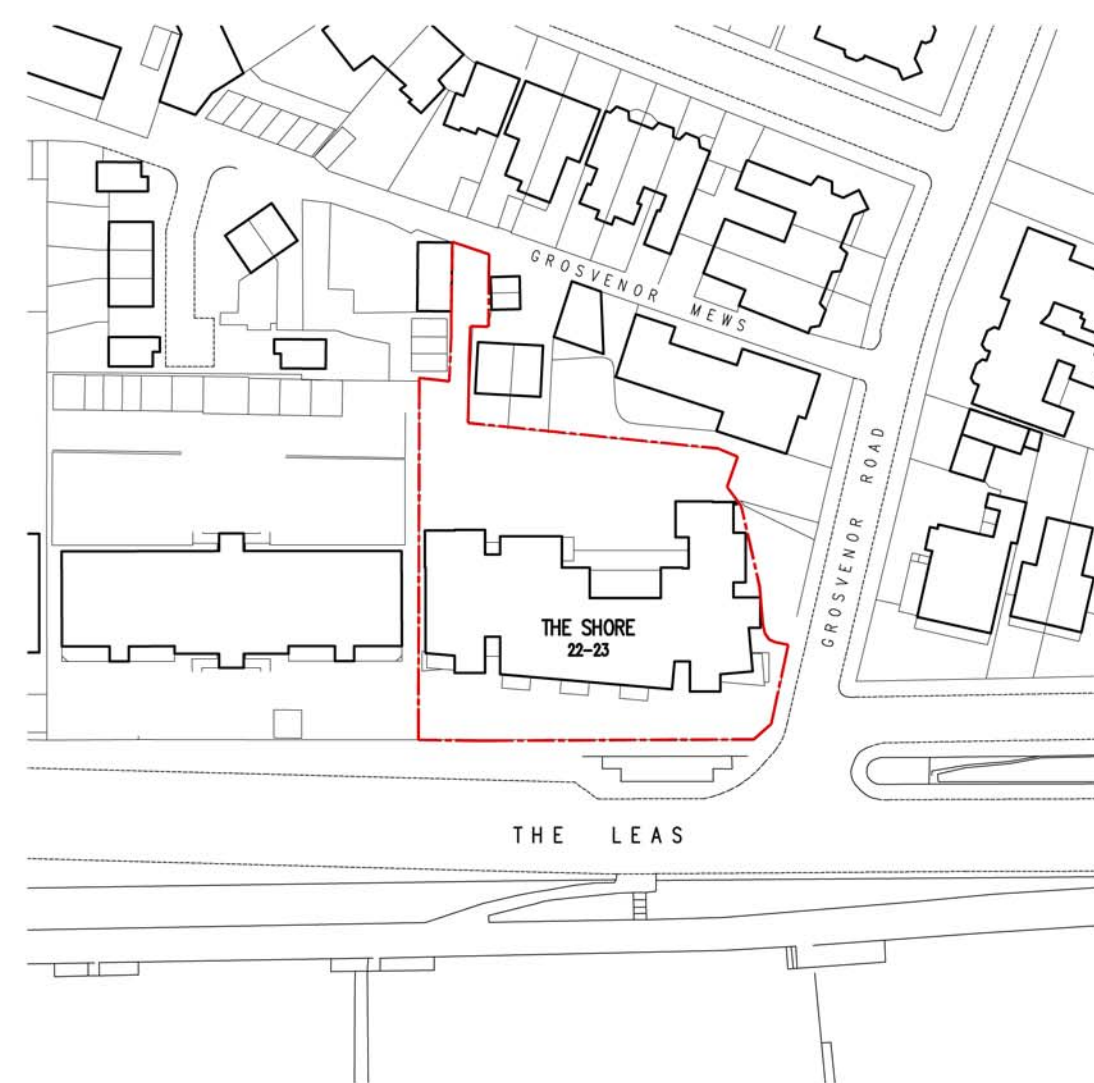
CBRE

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London, EC4M 7HP
Switchboard: 0207 182 2000 Fax: 0207 182 3007
Web: www.cbre.com

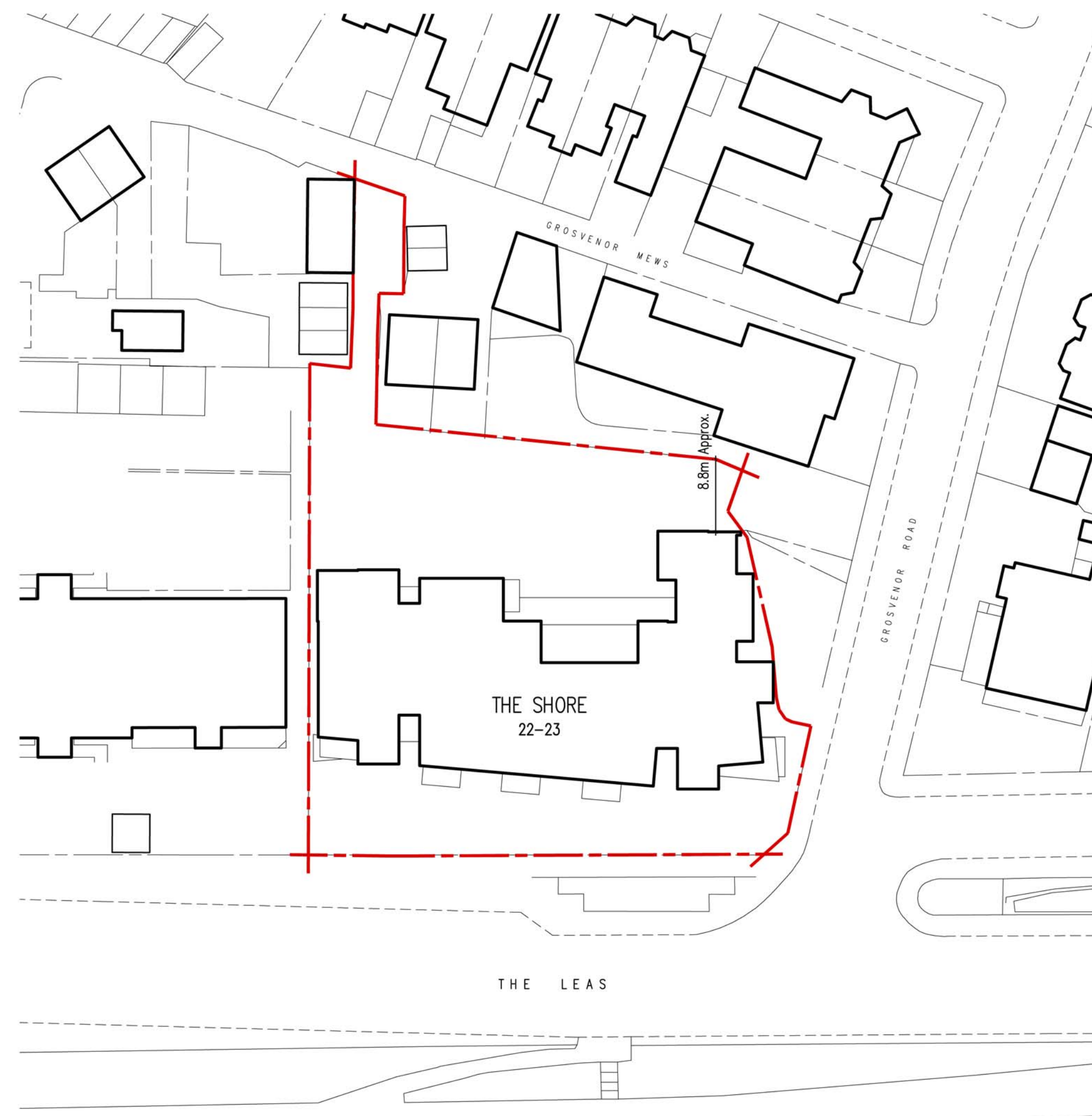
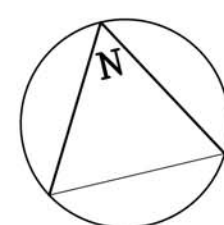
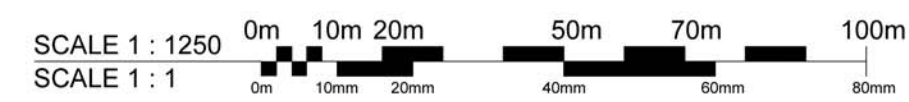
Address:	The Shore
	24 The Leas
	Westcliff-on-Sea SS0 8FF
Drawing:	Parking Lease Plan
Date:	27/04/2016
Scale:	1:200@A3
Drawn:	PF
Checked:	ICS
Dwg. No.	134166-LP-CP-13
Rev.	A



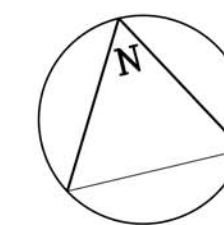
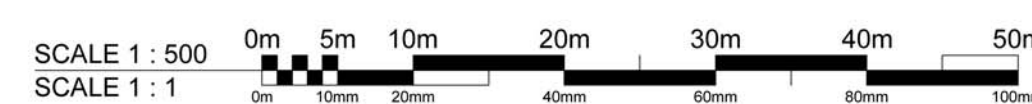
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Location Plan



Site Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary	DRAWN BY: TCM	CHKD BY: MM
CLIENT: Westbrook Properties		
PROJECT: The Shore Apartment Building		
PROJECT NO: 411-01-17	PAGE NO: P10	REVISION: -
DRAWING: Location Plan and Site Plan		

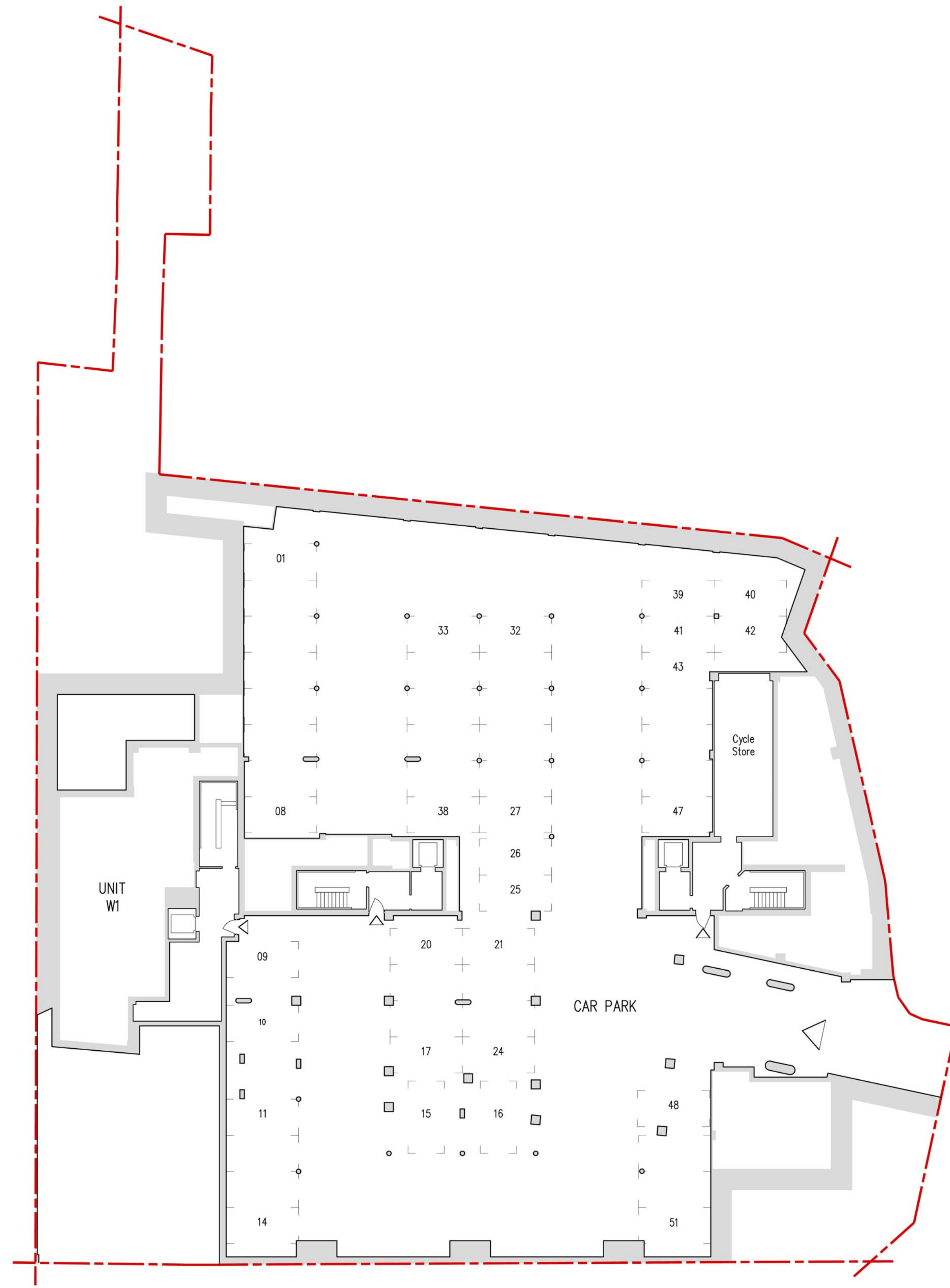
SCALE:
1:1250 & 1:500 @ A1

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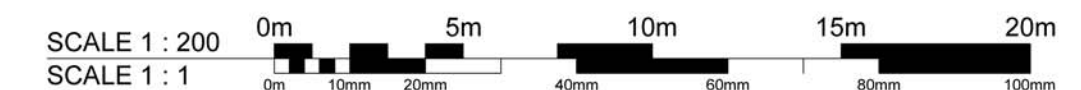
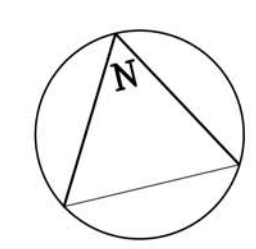
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103

Existing Lower Ground Floor Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building
 PROJECT NO: 411-01-17
 DRAWING: Existing Lower Ground Floor Plan

DRAWN BY: TCM
 CHECKED BY: MM

Postcode: SS0 9SZ
 PAGE NO: P11
 REVISION: -

SCALE: 1:200 @ A1

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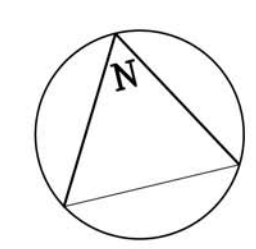
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Existing Roof Plan

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary	DRAWN BY: TCM	CHKD BY: MM
CLIENT: Westbrook Properties		
PROJECT: The Reef Apartment Building		
PROJECT NO: 411-01-17	PAGE NO: P21	REVISION: -
DRAWING: Existing Roof Plan		
SCALE: 1:100 @ A1		

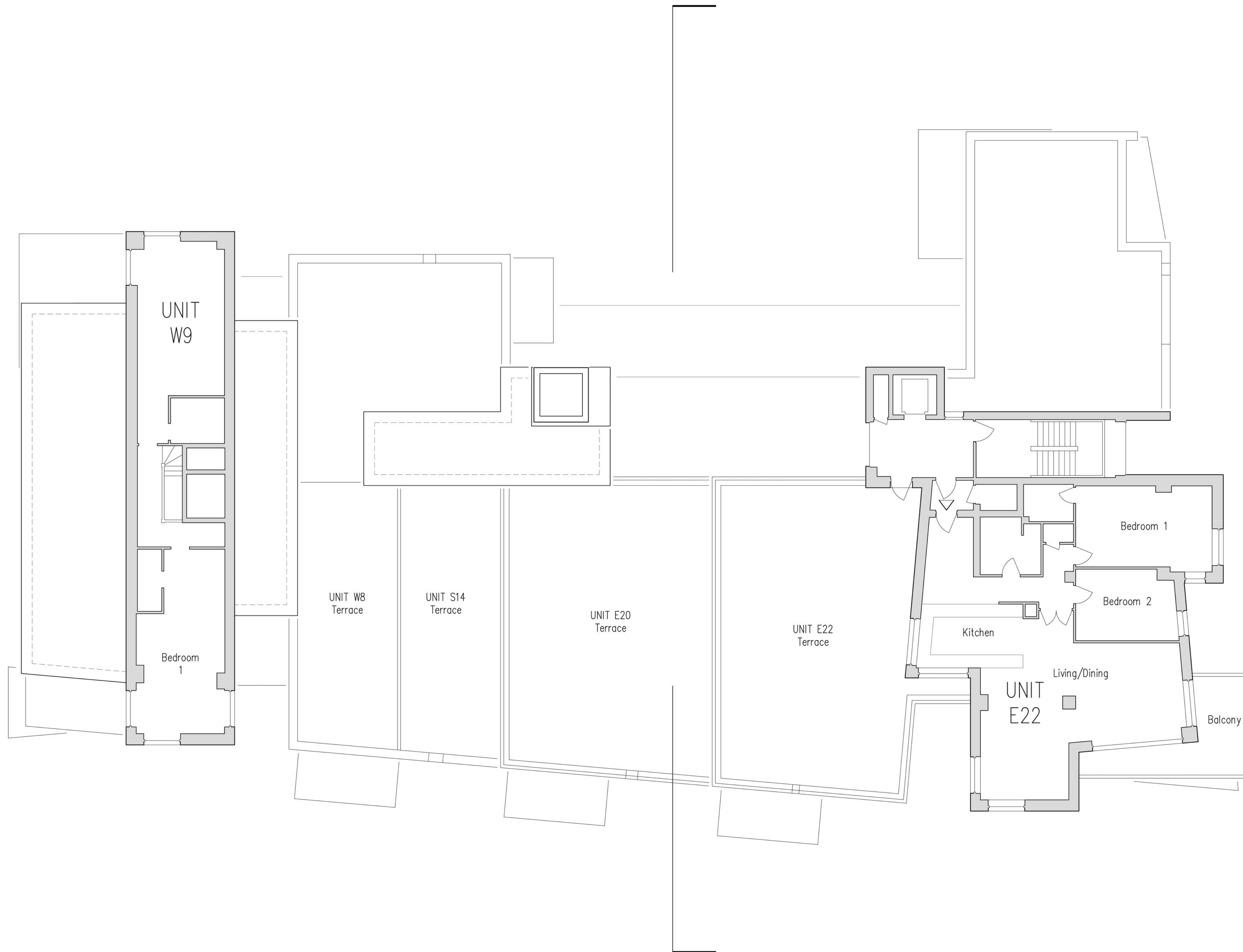


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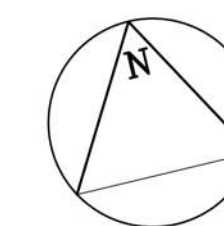
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Existing Eighth Floor Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 9SZ
 PROJECT NO: 411-01-17 PAGE NO: P22 REVISION: -
 DRAWING: Existing Eighth Floor Plan
 SCALE: 1:100 @ A1

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LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 0FF
 PROJECT NO: 411-01-17 PAGE NO: P30 REVISION: -
 DRAWING: Existing Sectional West Elevation
 SCALE: 1:100 @ A1

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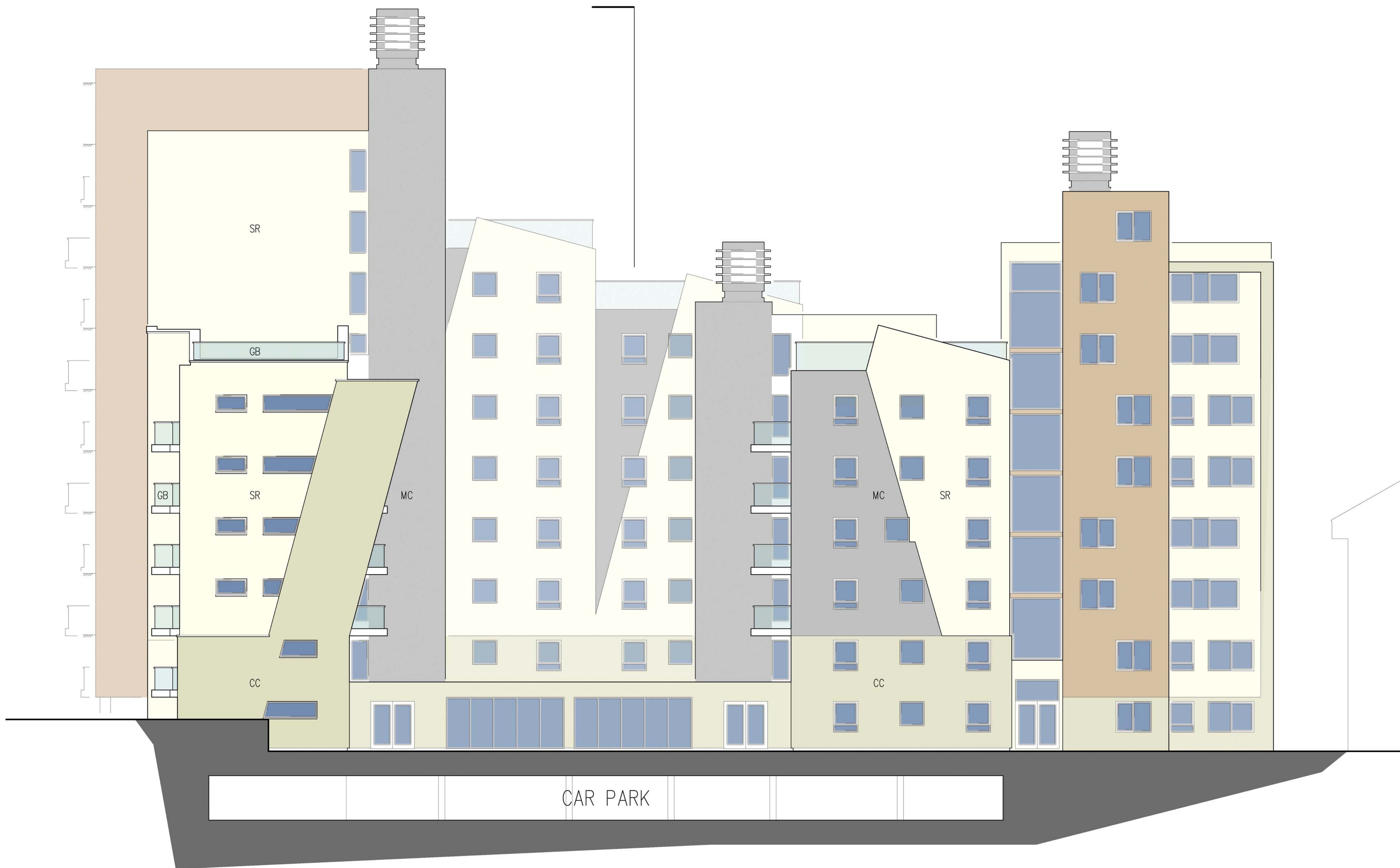
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Existing Sectional West Elevation

109

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LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

111

Existing North Elevation

STATUS: **AWAITING APPROVAL**

PROJECT STAGE: S1 - Preliminary	DRAWN BY: TCM	CHKD BY: MM
CLIENT: Westbrook Properties		
PROJECT: The Shore Apartment Building		
PROJECT NO: 411-01-17	PAGE NO: P41	REVISION: -
DRAWING: Existing North Elevation		
SCALE: 1:100 @ A1		

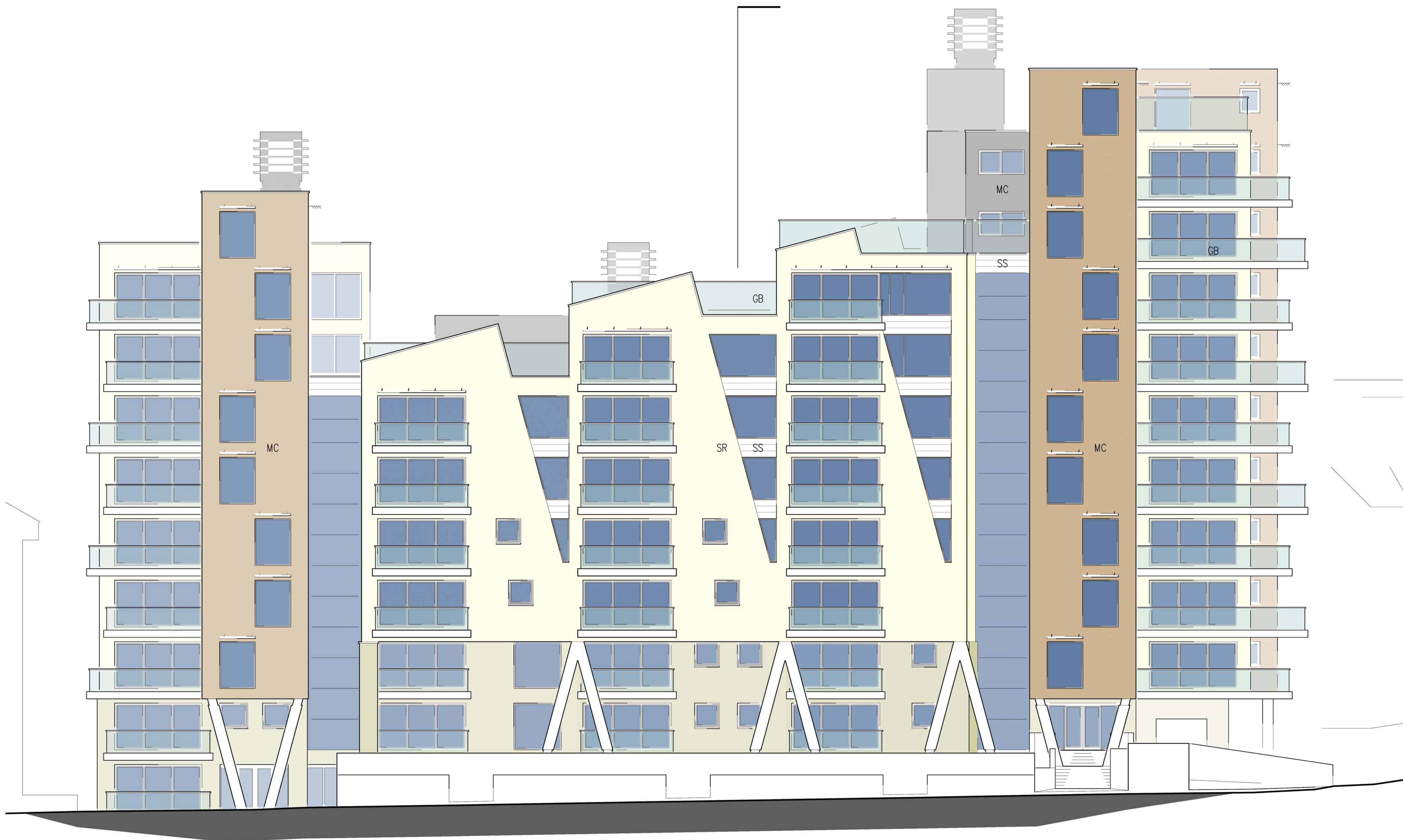
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LEGEND

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- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

113

Existing South Elevation

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building
 PROJECT NO: 411-01-17
 DRAWING: Existing South Elevation

DRAWN BY: TCM
 CHKD BY: MM

Postcode: SS0 9FF
 PAGE NO: P42
 REVISION: -

SCALE: 1:100 @ A1

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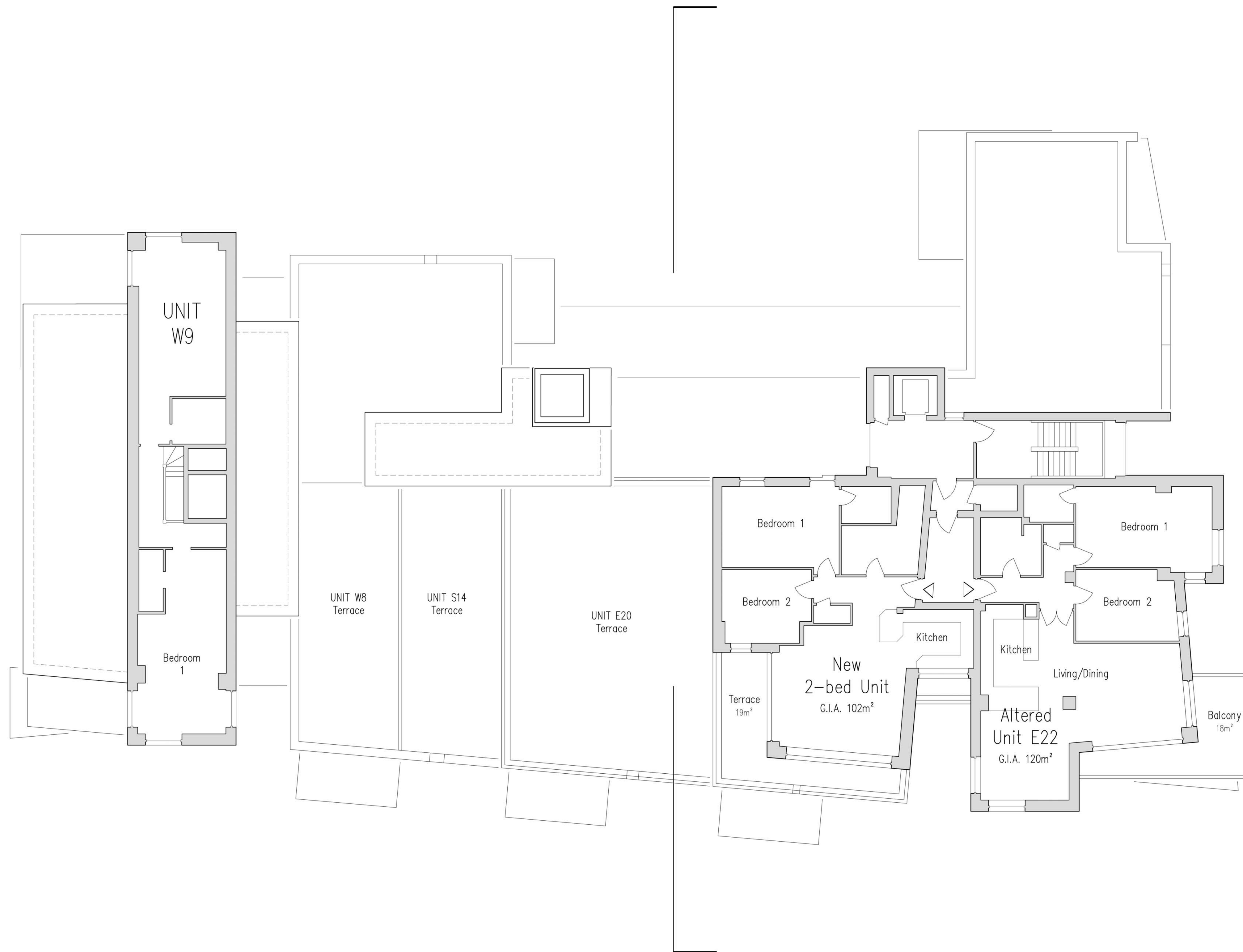
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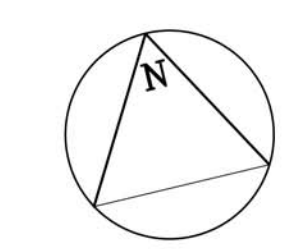


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115



Proposed Eighth Floor Plan



STATUS: AWAITING APPROVAL

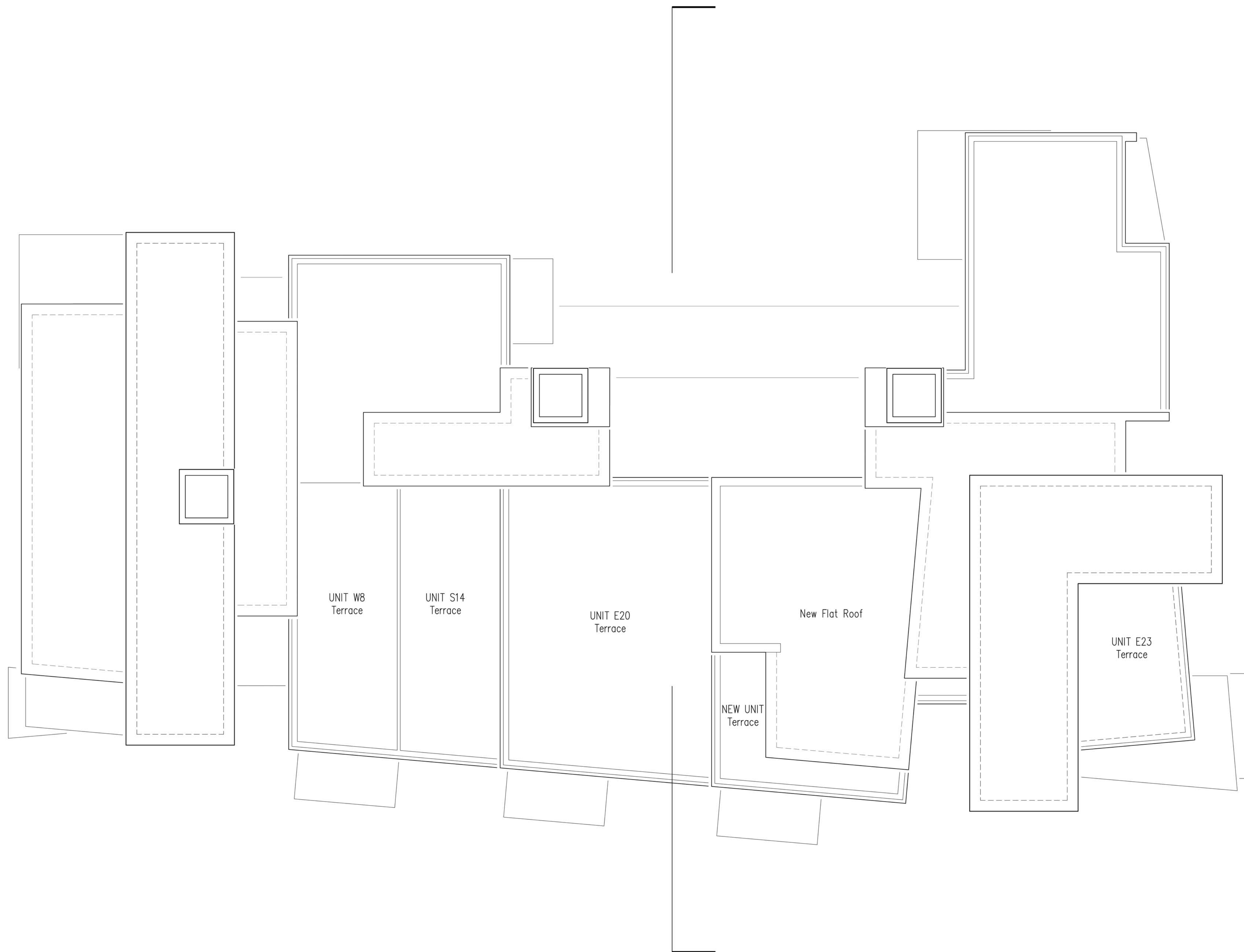
PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 9SZ
 PROJECT NO: 411-01-17 PAGE NO: P52 REVISION: -
 DRAWING: Proposed Eighth Floor Plan
 SCALE: 1:100 @ A1

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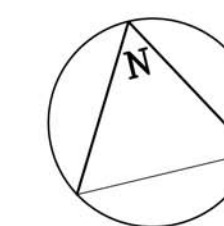
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Proposed Roof Plan



STATUS: AWAITING APPROVAL

PROJECT STAGE: **S1 - Preliminary** DRAWN BY: **TCM** CHKD BY: **MM**
 CLIENT: **Westbrook Properties**
 PROJECT: **The Shelf Apartment Building** Postcode: **SS0 9FZ**
 PROJECT NO: **411-01-17** PAGE NO: **P53** REVISION: **-**
 DRAWING: **Proposed Roof Plan**

SCALE: **1:100 @ A1**

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LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

Proposed Sectional West Elevation

STATUS: AWAITING APPROVAL

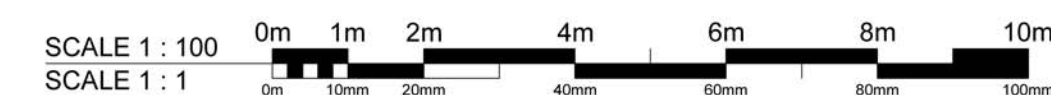
PROJECT STAGE: S1 - Preliminary DRAWN BY: TCM CHKD BY: MM
 CLIENT: Westbrook Properties
 PROJECT: The Shore Apartment Building Postcode: SS0 0FF
 PROJECT NO: 411-01-17 PAGE NO: P61 REVISION: -
 DRAWING: Proposed Sectional West Elevation

SCALE: 1:100 @ A1

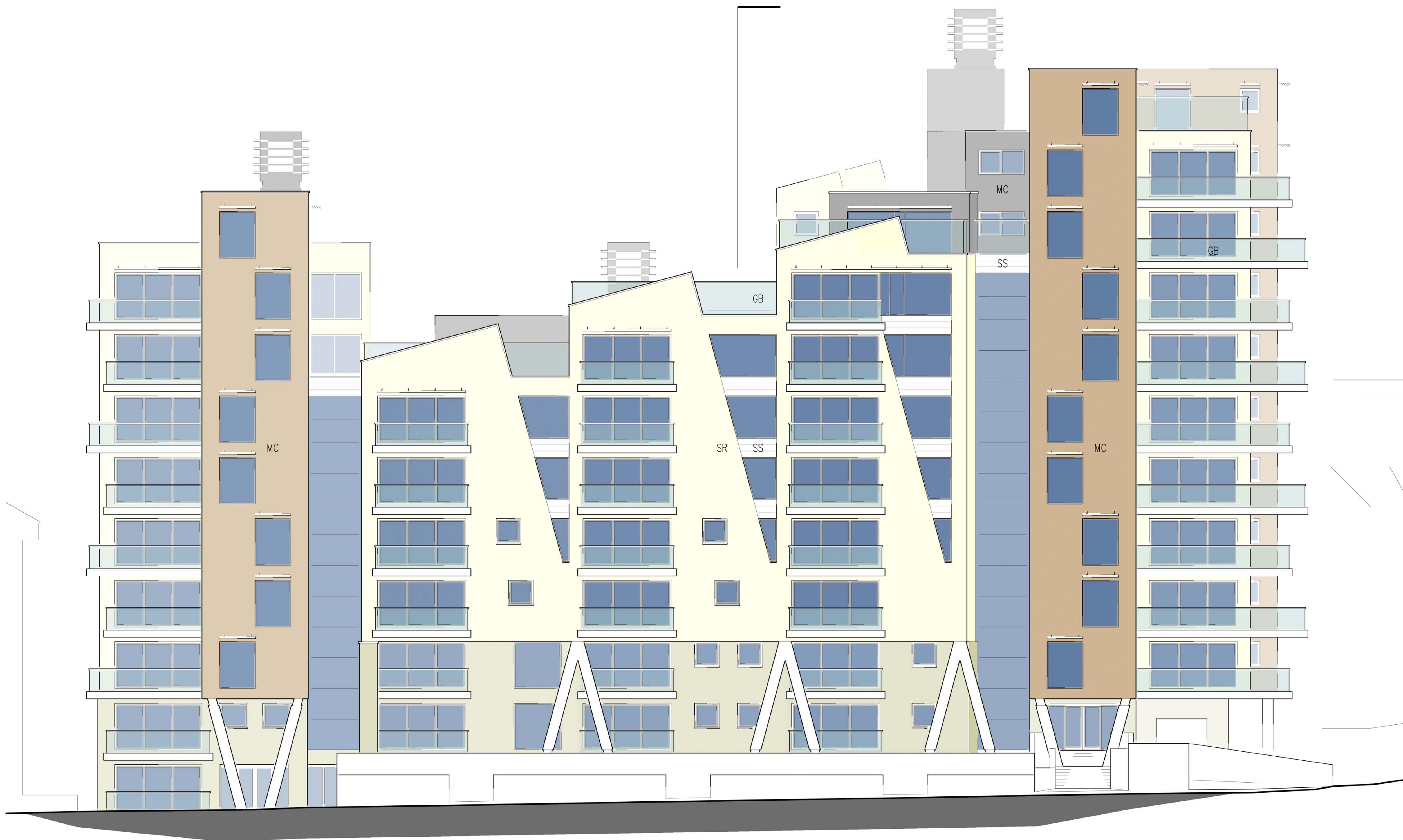
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LEGEND

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- SR Synthetic render (Off-white)
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- GB Glass balustrade with stainless steel top rails

121

Proposed South Elevation

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary	DRAWN BY: TCM	CHKD BY: MM
CLIENT: Westbrook Properties		
PROJECT: The Shore Apartment Building		Postcode: SS0 9SZ
PROJECT NO: 411-01-17	PAGE NO: P72	REVISION: -
DRAWING: Proposed South Elevation		
SCALE: 1:100 @ A1		

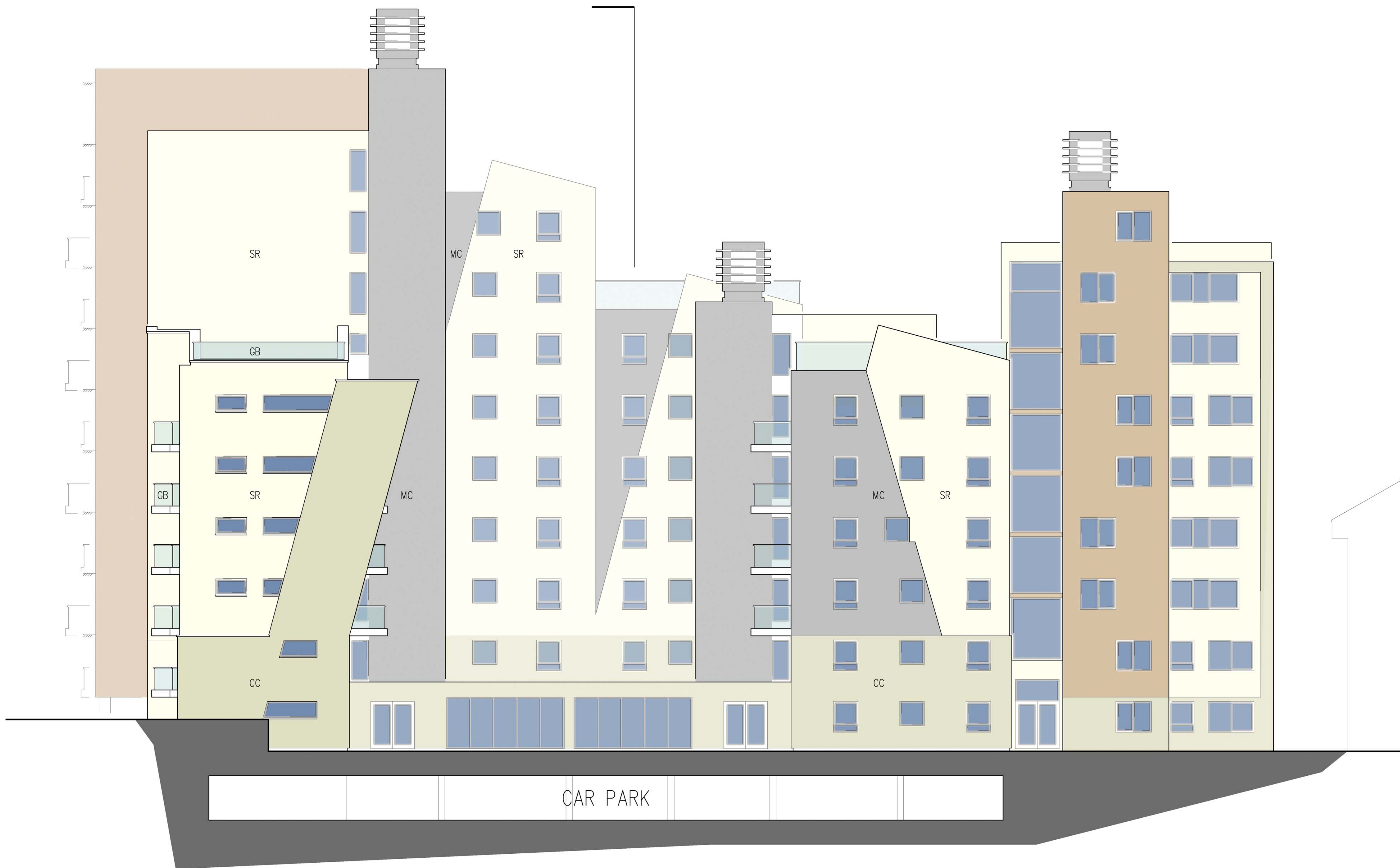
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THE CONTRACTOR IS TO ALLOW WITHIN THEIR PRICE FOR ALL ITEMS NOT LISTED BUT THAT WILL BE REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH ALL CURRENT LEGISLATION.



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LEGEND

- CC Ceramic cladding (Limestone)
- SR Synthetic render (Off-white)
- MC Colour coated metal cladding (Grey, Terracotta)
- SS Stainless steel cladding
- GB Glass balustrade with stainless steel top rails

Proposed North Elevation

STATUS: AWAITING APPROVAL

PROJECT STAGE: S1 - Preliminary	DRAWN BY: TCM	CHKD BY: MM
CLIENT: Westbrook Properties		
PROJECT: The Shore Apartment Building		Postcode: SS0 9FZ
PROJECT NO: 411-01-17	PAGE NO: P73	REVISION: -
DRAWING: Proposed North Elevation		
SCALE: 1:100 @ A1		

BUILDER INFORMATION:
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Reference:	17/01560/BC3	<h1>7</h1>
Ward:	Milton	
Proposal:	Render building	
Address:	Cliffs Pavilion, Station Road, Westcliff-On-Sea, Essex, SS0 7RA	
Applicant:	Southend on Sea Borough Council	
Agent:	Metson Architects	
Consultation Expiry:	09.10.2017	
Expiry Date:	07.11.2017	
Case Officer:	Janine Rowley	
Plan Nos:	TP-01; TP-02 Revision A; TP-03 Revision A	
Recommendation:	GRANT PLANNING PERMISSION	



1 The Proposal

- 1.1 The application submitted by the Council proposes to alter sections of the building's north, east, south and west elevations from mosaic ceramic tiles to grey through coloured render.
- 1.2 The Design and Access Statement accompanying the application states the proposal is necessitated due to some existing areas of external ceramic wall tiles de-bonding and falling from the upper levels of the building within public areas around the perimeter of the premises. The applicant has confirmed the proposed works are part of a wider regeneration scheme for the Cliffs Pavilion.
- 1.3 During the course of the application the applicants have omitted the proposal to remove the maintenance door to the south elevation and now retain the intermediate mesh walkway and associated suspension cables.

2 Site and Surroundings

- 2.1 The application site is to the south of Station Road at the top of sloping land above Western Esplanade to the south. The existing building is therefore elevated and prominent in views from the seafront and public gardens. The Pavilion is used as a theatre/performance venue with ancillary cafes and circulation spaces.
- 2.2 Residential properties lie to the North and West and commercial properties to the North West.
- 2.3 There are no site specific policy designations covering the land or building on them. Shorefield Conservation Area is to the North East and the open area of amenity land to the South East is designated as Public Open Space. The site part of the Southend Central Area in the Council's Development Management Document.

3 Planning Considerations

- 3.1 The key considerations are the principle of the development, design, impact on the character of the area and the impact on residential amenity.

4 Appraisal

Principle of Development

National Planning Policy Framework (2012), Core Strategy (2007) Policies KP2 and CP4, Development Management Document (2015) Policies DM1 and DM3 and Design and Townscape Guide (2009)

- 4.1 This proposal is considered in the context of the National Planning Policy Framework 2012 and Core Strategy Policies KP2 and CP4. Also of relevance is Development Management Policy DM1 which relates to design. These policies and guidance support works to properties in most cases but require that such alterations and extensions respect the existing character and appearance of the building.

Subject to detailed considerations, the proposed alterations to the building are considered to be acceptable in principle.

**Design and Impact on the Character of the Area:
National Planning Policy Framework (2012), Core Strategy (2007) Policies KP2 and CP4, Development Management Document (2015) Policies DM1 and DM3 and Design and Townscape Guide (2009)**

- 4.2 It should be noted that good design is fundamental to high quality new development and its importance is reflected in the National Planning Policy Framework as well as Policies DM1 and DM3 of the Development Management Document and Policies KP2 and CP4 of the Core Strategy. The Design and Townscape Guide also states that the Council is committed to good design and will seek to create attractive, high-quality living environments.
- 4.3 The proposal seeks permission for external elevational changes associated with the carrying out of repair and maintenance work to the areas of external ceramic wall tiles, which are de-bonding. These existing light and dark grey ceramic tiles which are bonded to the external wall envelope of the building with adhesive are to be replaced with high quality smooth light grey through-coloured render. The proposed render is considered to improve the quality of the building's appearance and therefore no objection is raised on design or character grounds.

**Impact on Residential Amenity:
National Planning Policy Framework (2012), Core Strategy (2007) Policies KP2 and CP4, Development Management Document (2015) Policies DM1 and DM3 and Design and Townscape Guide (2009)**

- 4.4 Policies DM1 and DM3 of the Development Management Document and CP4 of the Core Strategy refer to the impact of development on surrounding occupiers. High quality development, by definition, should provide a positive living environment for its occupiers whilst not having an adverse impact on the amenity of neighbours.
- 4.5 Given that the proposal involves solely changes to the external materials it would have no harmful effects on the light, privacy, outlook or relationship with neighbouring properties in terms of amenity.

Community Infrastructure Levy

- 4.6 No floorspace would be created and therefore the proposed development is not CIL liable.

5 Conclusion

- 5.1 Having taken all material planning considerations into account, it is found that subject to compliance with the attached conditions, the proposed development is acceptable as it would not cause material harm to the character or appearance of the site, or the surrounding area. The scheme is acceptable in terms of neighbour amenity considerations. This application is therefore recommended for approval subject to conditions.

6 Planning Policy Summary

- 6.1 National Planning Policy Framework
- 6.2 Core Strategy (2007) Policies KP2 (Spatial Strategy) and CP4 (Development Principles)
- 6.3 Development Management Document (2015) Policies DM1 (Design Quality), DM3 (The Efficient and Effective Use of Land).
- 6.4 Design and Townscape Guide (December 2009)
- 6.5 Community Infrastructure Levy Charging Schedule

7 Representation Summary

Public Consultation

- 7.1 Four site notices were posted at the site on the 13th September 2017. Two letters of representation have been received stating:
 - The Cliffs Pavilion is unique in its design and gives the impression of a ship when viewed from Western Esplanade. To remove a part of the exterior would completely alter the design and so take away its very character
 - The walkway is an intrinsic architectural feature of the building.
 - The metal walkway echo's the cornice overhanging the top of the south and east glazed elevations together with the supporting stainless steel cabling creates a strong maritime impression.

These concerns are noted, were taken into account in the assessment of the application and have been addressed through subsequent amendments.

8 Relevant Planning History

- 8.1 The application site is the subject of a lengthy planning history. The relevant planning history is as follows:
- 8.2 Alter north west elevation to allow existing lifting equipment to be raised to 9.3 metres high (part retrospective)- Granted (09/00008/BC3)
- 8.3 Install replacement windows and doors to South elevation at ground floor- Granted (15/00865/FUL)
- 8.4 Install replacement windows to ground floor foyer and first floor pavilion restaurant- Granted (15/01152/BC3).

9 Recommendation

Members are recommended to GRANT PLANNING PERMISSION subject to the following conditions:

- 01 The development hereby permitted shall begin not later than three years from the date of this decision.**

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

- 02 The development hereby permitted shall be carried out in accordance with the following approved plans: TP-01; TP-02 Revision A; TP-03 Revision A.**

Reason: To ensure that the development is carried out in accordance with provisions of the Development Plan.

- 03 The development hereby permitted shall only be carried out using Monocouche render colour reference. XF Light Grey, unless otherwise agreed in writing by the local planning authority.**

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is as set out in the National Planning Policy Framework (2012), Core Strategy (2007) Policies KP2 and CP4, and Design and Townscape Guide (2009).

The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern within the application (as originally submitted) and negotiating, with the Applicant, acceptable amendments to the proposal to address those concerns. As a result, the Local Planning Authority has been able to grant planning permission for an acceptable proposal, in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.

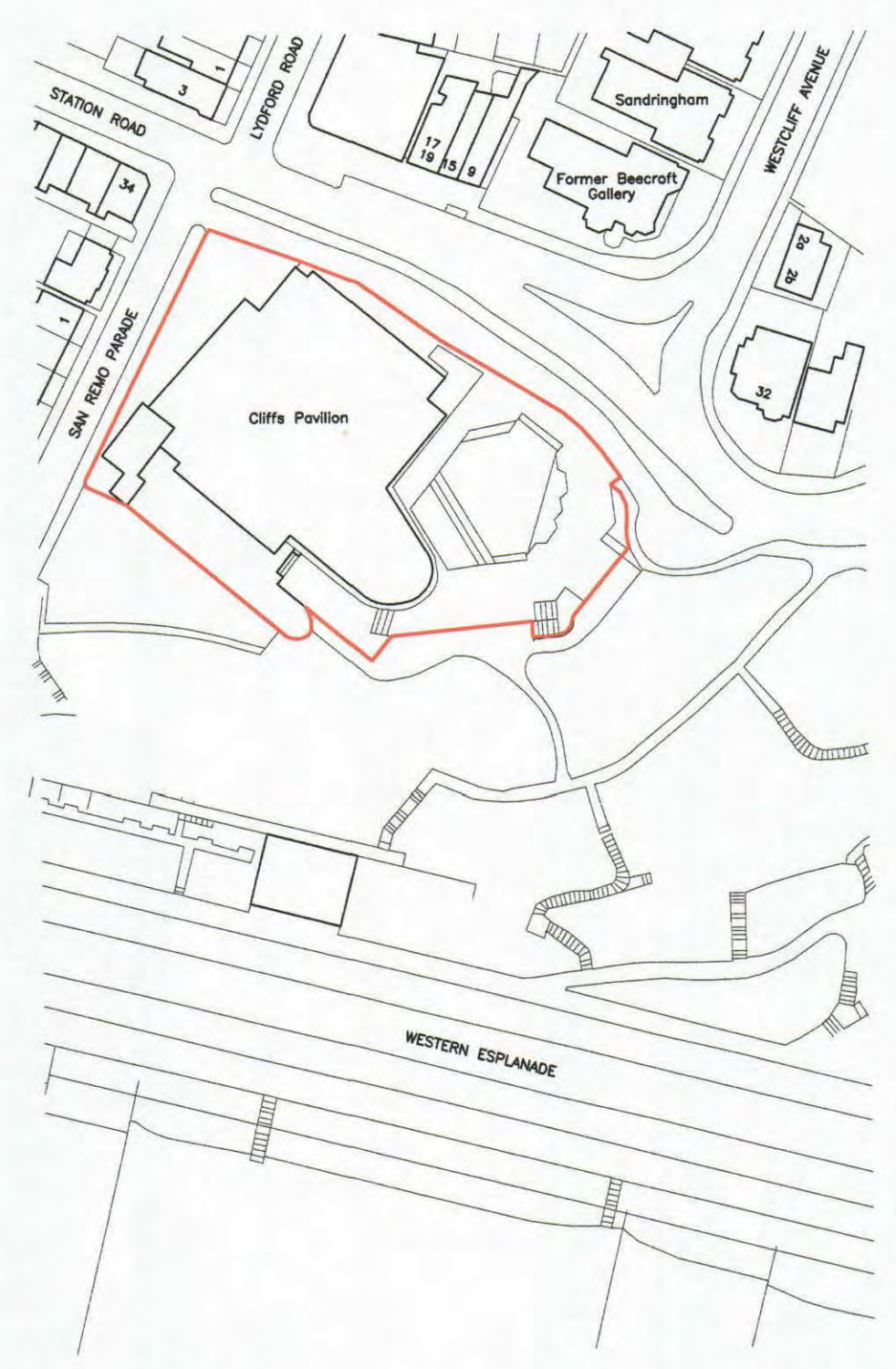
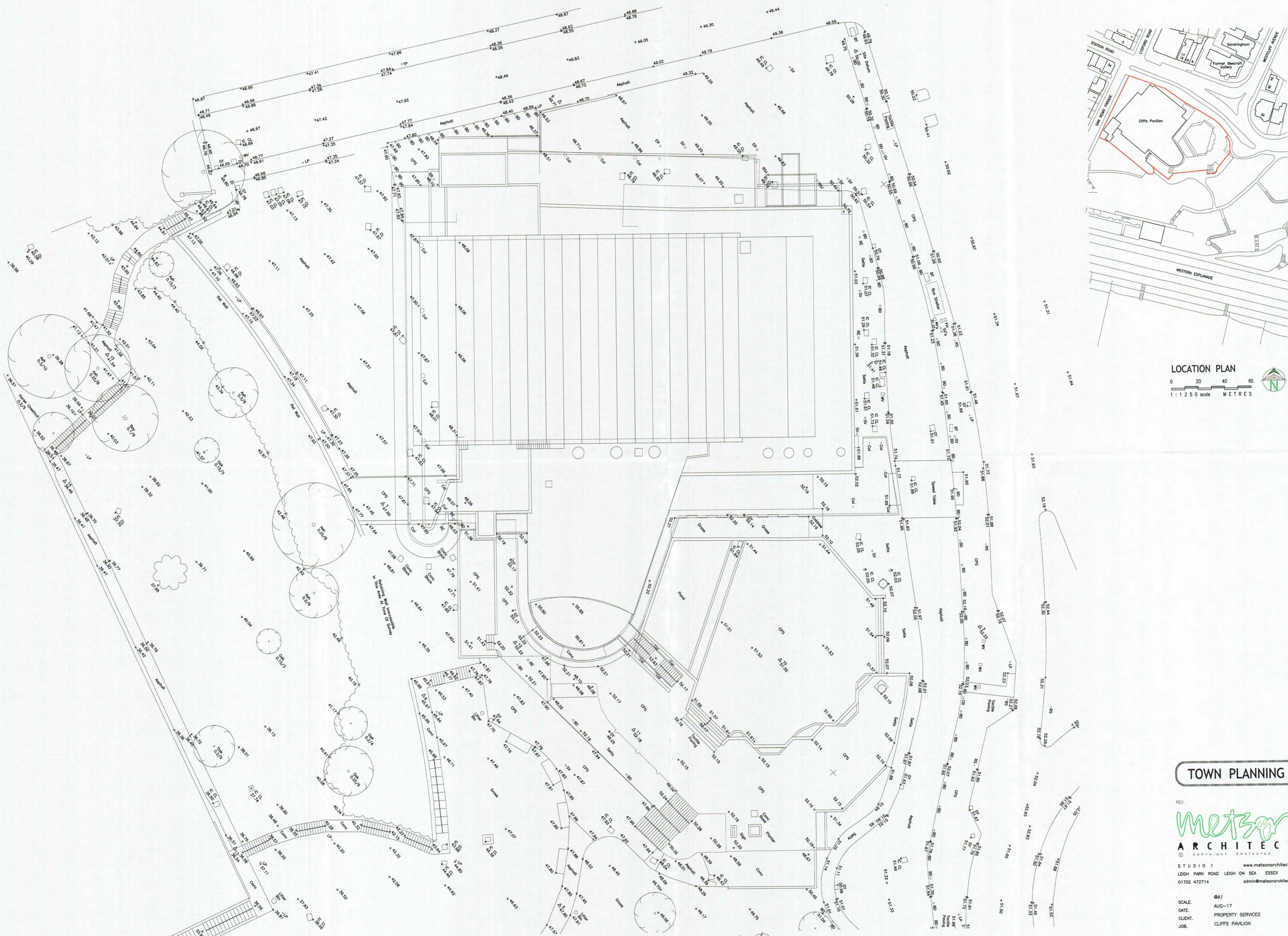
Informative

You are advised that as the proposed alterations to your property do not result in new floorspace and the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and as such no charge is payable. See www.southend.gov.uk/cil for further details about CIL.

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CLIFFS PAVILION

NOTES :



LOCATION PLAN
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 1 : 2 5 0 scale METRES

SITE / ROOF PLAN
 0 2 4 6 8 10
 1 : 2 0 0 scale METRES

TOWN PLANNING

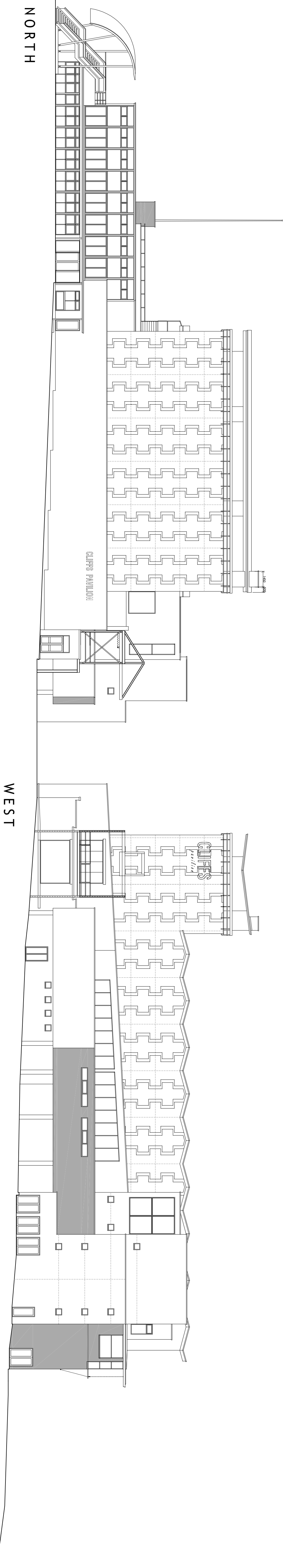
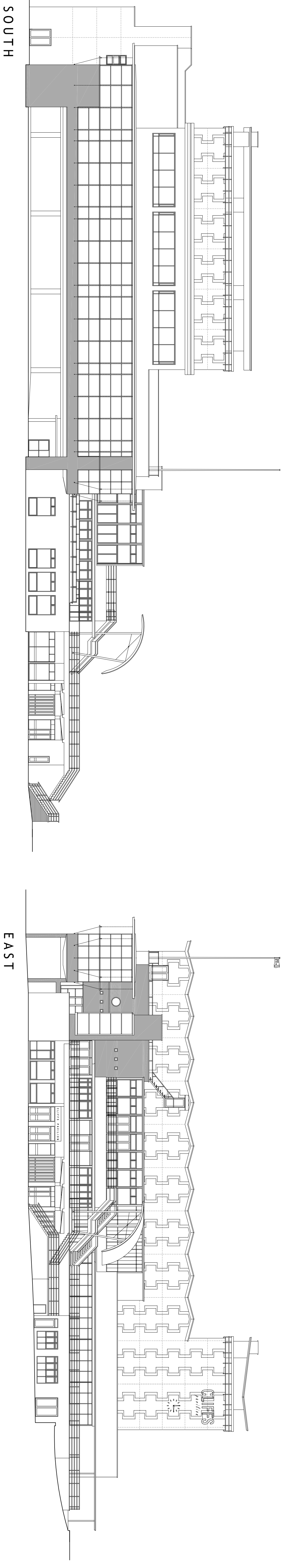
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SCALE: **0A1**
 DATE: **AUG-17**
 CLIENT: **PROPERTY SERVICES**
 JOB: **CLIFFS PAVILION**
 JOB NO. **1613** DRAWING NO. **TP-01**

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CLIFFS PAVILION

NOTES :



KEY
 REPAIR AREAS OF WALLING WITH NEW THROUGH COLOURED RENDER SYSTEM THROUGH COLOUR GREY WITH CLASSIC SMOOTH STRIPPLED FINISH

REV: A 14-11-17 FOWER CABLE STAY GALLERY RETAINED
TOWN PLANNING

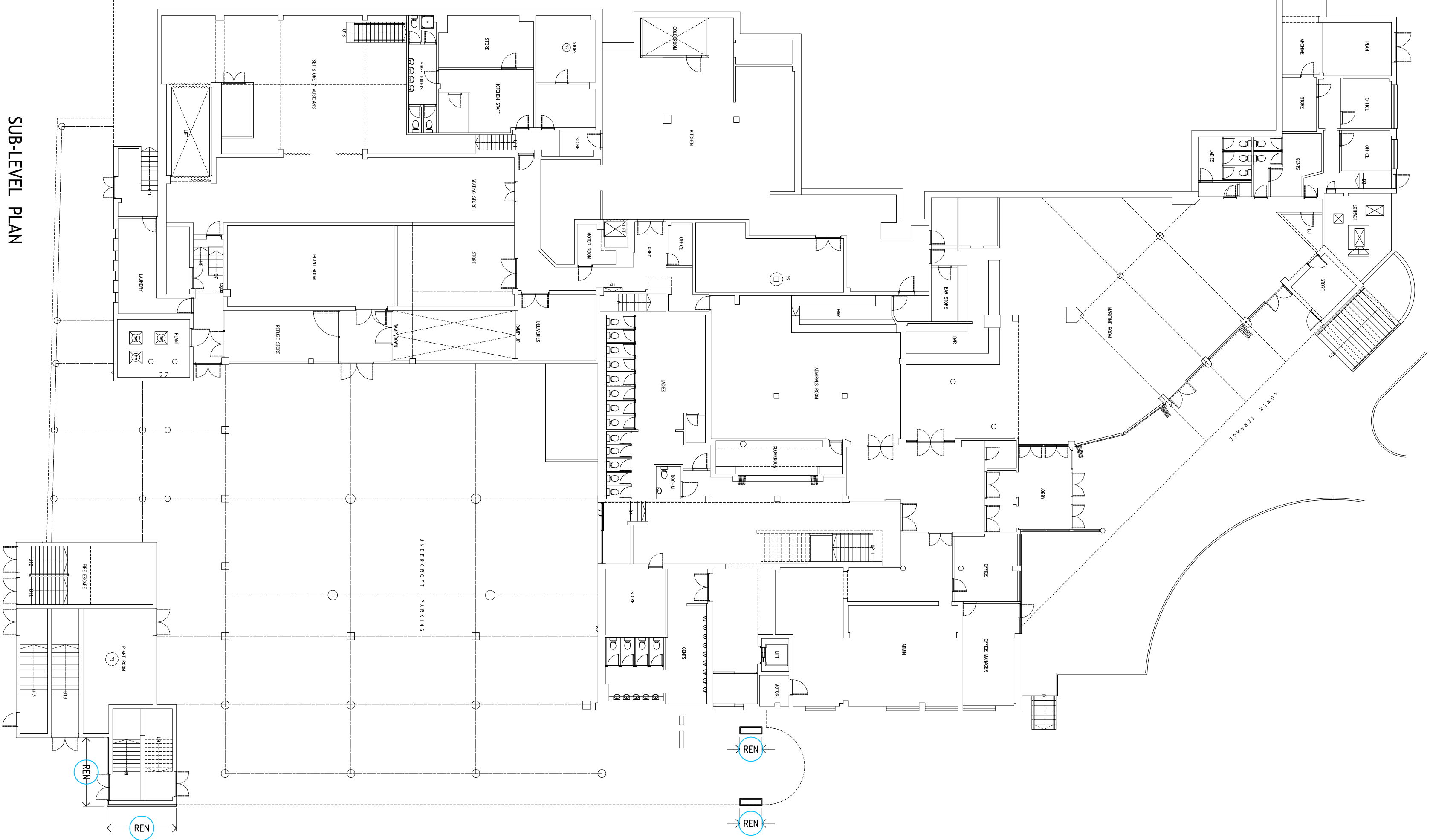
metson
 ARCHITECTS
 CONSULTANT PROJECTS
 51 J. D. O. 1. www.metsonarchitects.co.uk
 LOCAL PARK ROAD LEIGH ON SEA ESSX S39 2BQ
 01702 422714 office@metsonarchitects.co.uk

SCALE: A1:1
 DATE: AUG-17
 CLIENT: PROPERTY SERVICES
 JOB: CLIFFS PAVILION

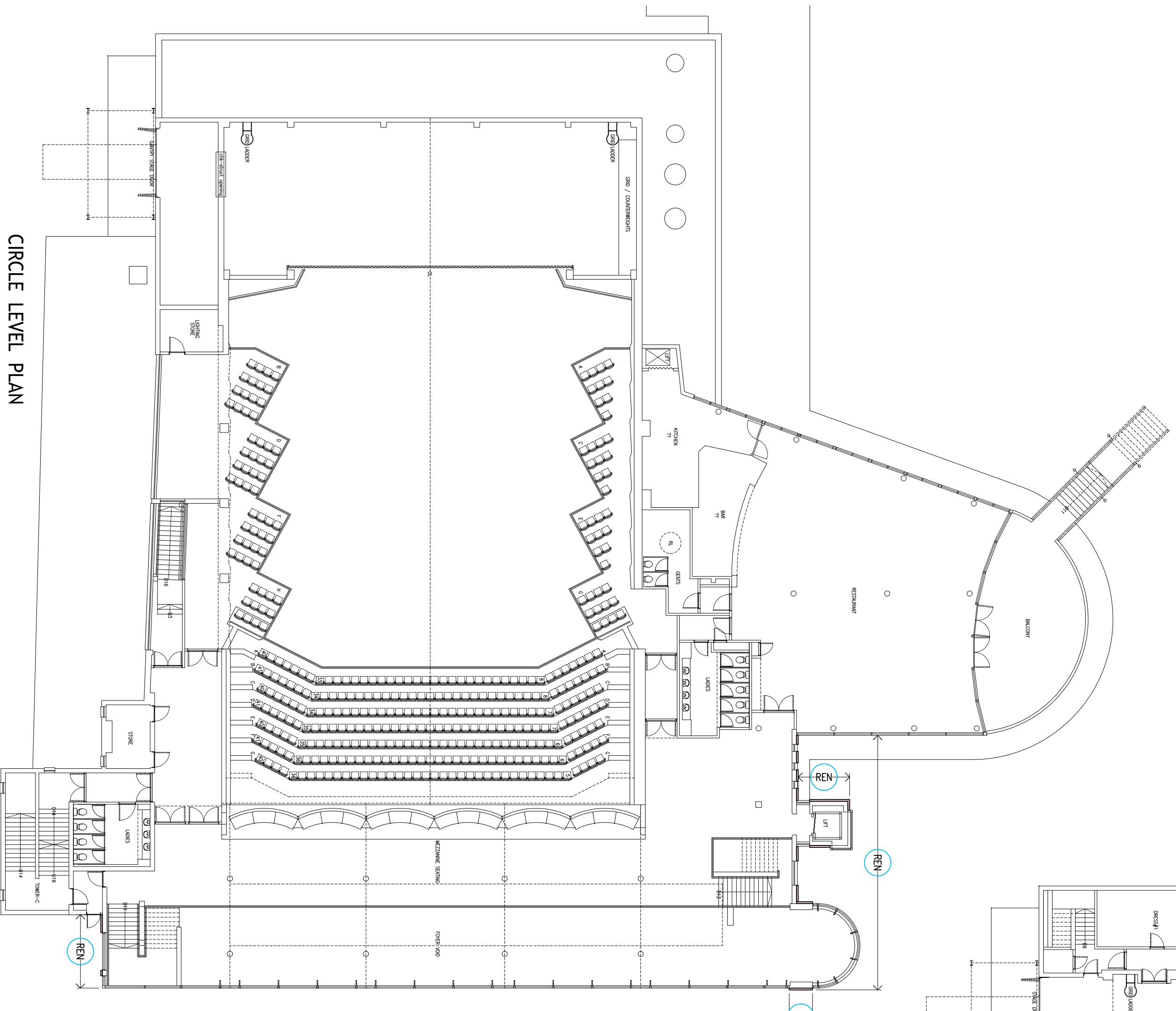
JOB NO: 1613 DRAWING NO: TP-03-A

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CLIFFS PAVILION



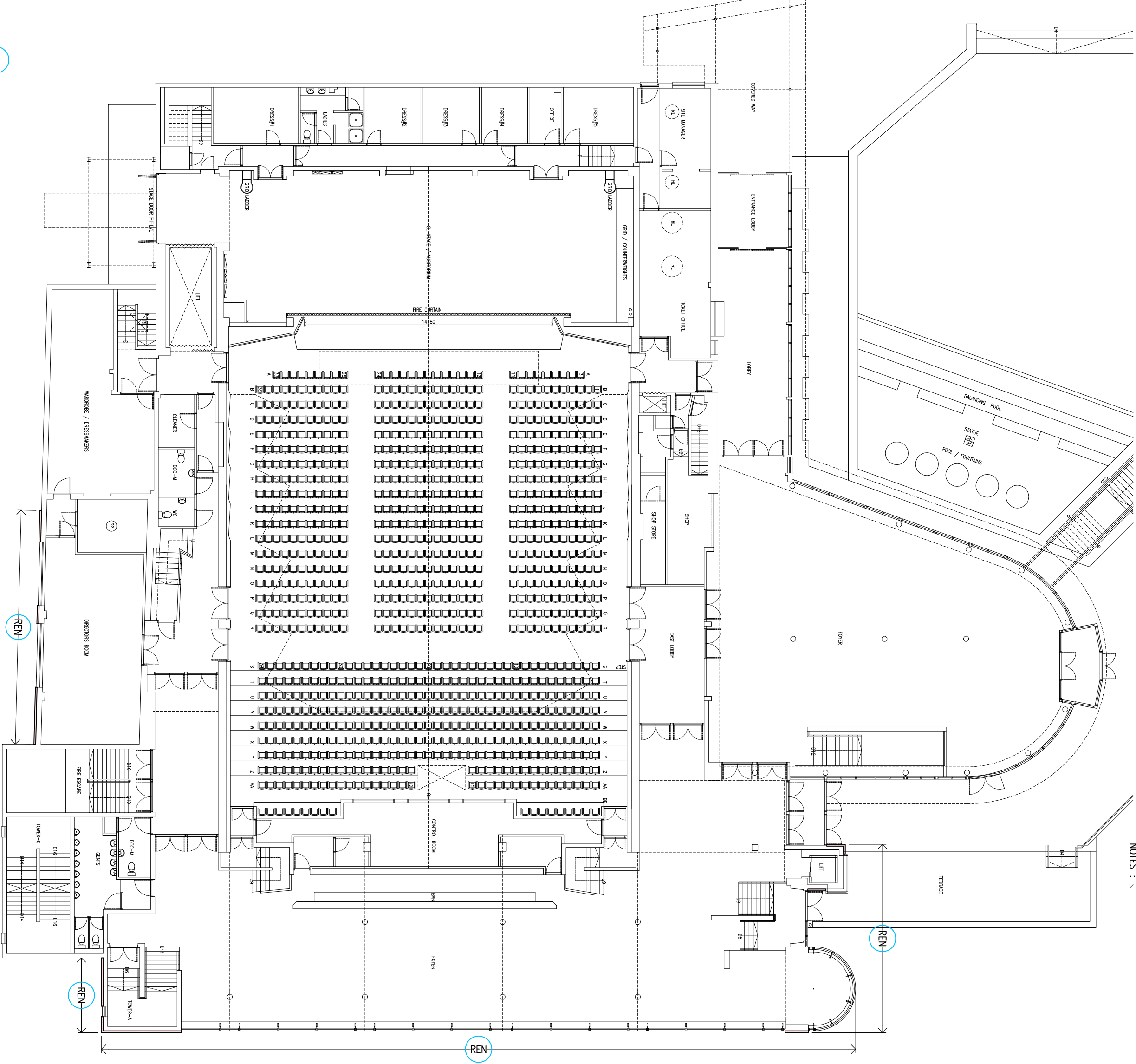
SUB-LEVEL PLAN



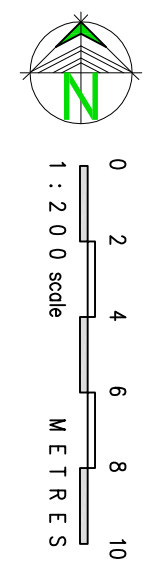
CIRCLE LEVEL PLAN

KEY

REPAIR AREAS OF WALLING WITH NEW THROUGH COLOURED RENDER SYSTEM THROUGH COLOUR GREY WITH CLASSIC SMOOTH STIPPLED FINISH



AUDITORIUM / STALLS PLAN



TOWN PLANNING

REV. A 14-11-17 GANTRY ACCESS DOOR RETAINED

WATERSON
ARCHITECTS

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01702 472714
www.watsonarchitects.co.uk
admin@watsonarchitects.co.uk

SCALE: A1
DATE: AUG-17
PROPERTY SERVICES
CLIENT: CLIFFS PAVILION
JOB: 1613

JOB NO. 1613 DRAWING NO. TP-02-A

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Reference:	17/01914/LBC	8
Ward:	Milton	
Proposal:	Various repairs and maintenance to include continued ironwork replacement, pile cap refurbishment, bearing refurbishment and joint articulation, refurbishment of timber deck boards and lateral restraint connection refurbishment (Listed Building consent)	
Address:	The Pier, Western Esplanade, Westcliff-on-Sea, Essex, SS1 1EE	
Applicant:	Southend-on Sea Borough Council	
Agent:	Mr Neil Chaston, Hemsley Orrell Partnership	
Consultation Expiry:	24 th November 2017	
Expiry Date:	26 th December 2017	
Case Officer:	Abbie Greenwood	
Plan Nos:	12211-HOP-24-XX-DR-C-0040-P2, 12211-HOP-24-XX-DR-C-0041-P2, 12211-HOP-24-XX-DR-C-0042-P2, 12211-HOP-24-XX-DR-C-0043-P2, 12211-HOP-24-XX-DR-C-0050-P2, 12211-HOP-24-XX-DR-C-0051-P1, 12211-HOP-24-XX-DR-C-0052-P1, 12211-HOP-24-XX-DR-C-0060-P2, 12211-HOP-24-XX-DR-C-0061-P2, C10918-C-001-0, C10918-C-169-0, C10918-C-170-0	
, Recommendation:	GRANT LISTED BUILDING CONSENT	



1 The Proposal

- 1.1 This application is seeking Listed Building Consent to undertake various refurbishment works to the iron substructure and the deck of the pier. The proposed works are:
- Continued ironwork refurbishment and replacement along the lines of previous consents
 - Refurbishment of anchor bays
 - Pile cap refurbishment along the lines of previous consents
 - Bearing refurbishments and joint articulation to pile caps
 - Timber deck board refurbishment/ replacement
 - Lateral restraint connection refurbishment
- 1.2 Three previous applications refs 17/00614/LBC, 16/01397/LBC and 14/01841/LBC have been consented for the replacement of corroded ironwork and fractured pile caps in the past. This application seeks consent to undertake further refurbishment and replacement works along similar lines as well as to the timber deck.
- 1.3 The pier has undergone major refurbishments at various times in the past. The most extensive programme of works was in 1972 and more localised repairs have taken place in 1984, 1997 and within the last couple of years. A survey of the structure in 2015/16 revealed that the pier was in a varying condition of repair, 20% of the structure was in a good condition, 20% was approaching failure and the rest was classed as poor or fair. Over recent years the Council has sought to deal with those elements that were failing but it is considered that there is a need for a more progressive programme of works to refurbish and replace elements that are showing signs of failure. These additional works will be phased over the next 5 years. It is hoped that these works will safeguard the pier structure for the future.

2 Site and Surroundings

- 2.1 The Pier is situated at the bottom of Pier Hill to the southern end of the High Street. It projects approximately 1.33 miles south into the estuary. The northern end of the pier includes a modern entrance that enables public access on two levels to the decked walkway and pier train. The pier is one of Southend key tourist attractions and an important part of the heritage of the town.
- 2.2 The original cast iron Pier structure dates from 1830, with extensions having been added in 1897 and 1929. The substructure is a key element of the pier. The pile caps are located at the junction of the supporting columns and the pier stem.
- 2.3 The pier is a grade II listed building. The surrounding mudflats are designated as a RAMSAR site, SSSI and Local Nature Reserve.

Planning Considerations

- 3.1 The only consideration in relation to the listed building application is the impact of the proposal on the character and significance of the listed building.

4 Appraisal

Design and Impact on the Character of the Listed Building

National Planning Policy Framework (2012) Core Strategy (2007) policies KP2 and CP4; Development Management Document (2015) Policies DM1, DM3 and DM5

4.1 Paragraph 129 of the NPPF states that:

'Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.'

4.2 Repair works to the iron substructure of the pier previously consented in 2016, 2014 and 2017 have been undertaken to address those elements of the structure that had failed but a survey of the structure has concluded that a significant proportion of the steel work was in a poor state of repair and further works are required to prevent further deterioration and failure. The current proposal is a comprehensive programme of works to refurbish and replace various structural elements, including sections of the deck which are also contribute to the lateral strength of the pier and are rotten. Each element of the work is discussed below

Ironwork refurbishment and replacement

4.3 This includes refurbishment and replacement of the longitudinal beams, transverse beams, rails and bracing which form the main structural elements of the historic pier stem. Each of these elements have been replaced in previous consents and, where replacement elements are required, the current proposal will replicate the design details and materials previously agreed. Only those elements that have corroded beyond or close to safe structural limits will be replaced. Where the ironwork is in a fair condition the existing structure will be refurbished.

Refurbishment of anchor bays

4.4 Anchor bays are located every 10th bay along the stem between the north and south stations. In addition to the east west cross bracing which occurs on the standard sections of the pier stem the anchor bays also include north south cross bracing and provide additional lateral restraint for the structure. The integrity of these elements is particularly important to the strength of the pier and it is therefore essential that these elements are fit for purpose. The application proposes that each element of the anchor bay is removed, inspected and either refurbished or replaced as required before being reassembled.

Pile cap refurbishment

4.5 The failure of the pile caps which sit on top of the main iron columns and connect to the beams, has been a particular problem with the pier structure and a significant number of pile caps have previously been replaced to an agreed design. The survey has revealed that more of the remaining pile caps are fractured and these are being monitored. The current proposal seeks permission to replace these if they fail.

4.6 All new sections of the main structure will be steel rather than cast or wrought iron of a design which closely replicates that of the failed elements. Steel is proposed because it has a superior strength to cast iron and structural wrought iron is no longer available. These materials and details have been previously agreed in the earlier applications. Where the existing ironwork is in reasonable condition it will be refurbished and painted to prolong its structural integrity for as long as possible.

Bearing refurbishments and joint articulation to pile caps

4.7 The bearings on the pier allow minor lateral movement of the structure. This is needed to enable the structure to accommodate horizontal loads caused by trains braking, fire mains thrust and general thermal expansion. Many of the existing bearing are seized due to corrosion and this is putting additional strain on the historic structure. It is proposed to refurbish all the bearings and articulation joints to enable the structure to better absorb these forces.

Timber deck board refurbishment.

4.8 The timber deck is an important part of the structure of the pier as it provides lateral restraint to the longitudinal beams and distributes the load between the anchor bays. A separate survey of the decking has been carried out by a timber specialist. This concludes that, in this exposed location, the beams can be expected to have a life of only 20 years. Most of the pier deck boards are reaching the end of their serviceable life with many boards showing signs of rot especially around the fixing bolts. Previously in recent years, aside from areas affected by fire, only localised repairs have been carried out to the deck, however, the lack of strength in the deck as a whole is now a concern and it is now considered that it is time to undertake a more extensive replacement programme to ensure the future stability of the structure and reduce the strain on the historic ironwork that remains. The new boards will be kerunig hardwood with a tighter tek screw fixing which has been designed to prevent water ingress into the timber around the fixing which is where most of the current boards have failed. The dimensions and arrangement of the new decking will match the existing.

Lateral restrain connection refurbishment

4.9 It is also proposed to inspect and replace as necessary the timber deck beams and deck beam connections below the deck which sit between the longitudinal beams and the deck itself as these also contribute to the lateral restraint of the structure.

4.10 Work will be undertaken in sections of 30m so as not to disrupt the use of the pier by visitors. It is envisaged that it will take up to 5 years to complete the refurbishment. This proposal is being carried out in conjunction with a number of other consented and proposed projects on the pier including the refurbishment of the pier shelters, new wcs and the repairs to the pier head timber and concrete substructure.

- 4.11 The survey photos clearly show that the repairs are still needed and this more comprehensive refurbishment programme should prolong the life of the remaining historic ironwork by stabilising the structure rather than just reacting to failures as has occurred in the past. It is noted that the use of steel rather than cast or wrought iron for the main elements of the stem is a change to the existing materials however, the design of the replacement elements is similar to the original details so the silhouette of the pier will be unaffected and the strength and life of the structure improved as a result and these changes have been previously accepted. It is also noted that the timber decking is expected to have a limited lifespan.
- 4.12 Historic England are satisfied that the works are justified in accordance national planning guidance and will not cause harm to the significance of the grade II listed pier. It is considered that the works will assist in safeguarding the historic fabric of the pier for the future. The proposal is therefore considered to be acceptable.

Conclusion

- 4.13 Having taken all material considerations into account, it is found that subject to compliance with the attached conditions, the proposed development would be acceptable and compliant with the objectives of the relevant development plan policies and guidance. The principle of the development is found to be acceptable and the proposal would have an acceptable impact on character, appearance, setting and significance of the listed building. This application is therefore recommended for approval subject to conditions.

5 Planning Policy Summary

- 5.1 NPPF (The National Planning Policy Framework)
- 5.2 DPD1 Core Strategy Policies KP2 (Development Principles) and CP4(The Environment and Urban Renaissance)
- 5.3 DPD2 DM Policies DM1 (Design Quality), DM3 (Efficient and Effective Use of Land) and DM5 (Southend-on-Sea's Historic Environment)
- 5.4 SPD1 The Design and Townscape Guide

6 Representation Summary

Historic England

- 6.1 Consent is sought for various repairs and maintenance to include continued steelwork replacement, pile-cap refurbishment, bearing refurbishment and joint articulation; refurbishment of timber deck boards and lateral restraint connection refurbishment. This application is to follow works carried out in 2015/2016 when fractured pile-caps were replaced. Having considered the documentation submitted with the application, including the Refurbishment and Substructure Repairs report and photographs produced by Hemsley Orrell Partnership (HOP), Historic England are satisfied that the works are justified in accordance national planning guidance and will not cause harm to the significance of the grade II listed pier. In our view the works will assist in safeguarding the historic fabric of the pier for the future.

Recommendation

Historic England have no objections to the application on heritage grounds, should your authority be minded to approve the application for listed building consent. We consider that the application meets the requirements of the NPPF and that the works will assist in safeguarding the future of the pier. In determining this application you should bear in mind the statutory duty of section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to have special regard to the desirability of preserving listed buildings or their setting or any features of special architectural or historic interest which they possess.

Essex Wildlife Trust

- 6.2 No comments received.

Natural England

- 6.3 Natural England's comments in relation to this application are provided in the following sections.

Statutory nature conservation sites – no objection

Natural England has assessed this application using the Impact Risk Zones data (IRZs). Natural England advises your authority that the proposal, if undertaken in strict accordance with the details submitted, is not likely to have a significant effect on the interest features for which Benfleet and Southend Marshes SPA and RAMSAR has been classified. Natural England therefore advises that your Authority is not required to undertake an Appropriate Assessment to assess the implications of this proposal on the site's conservation objectives. 1

In addition, Natural England is satisfied that the proposed development being carried out in strict accordance with the details of the application, as submitted, will not damage or destroy the interest features for which the Benfleet and Southend Marshes SSSI has been notified. We therefore advise your authority that this SSSI does not represent a constraint in determining this application. Should the details of this application change, Natural England draws your attention to Section 28(1) of the Wildlife and Countryside Act 1981 (as amended), requiring your authority to re-consult Natural England.

Natural England would like to highlight that we have made our assessment of these works based on the assumption that all works are undertaken from the Pier and that no foreshore access is required. It should be noted that any works that are required to the Pier that are below mean high water may require a marine licence from the Marine Management Organisation (MMO) we recommend contacting the MMO in the first instance for any works associated within the intertidal and marine environment.

We further recommend that the following best practice measures are employed for works at this location:

1) Ensure that any coatings/treatments on the materials used are suitable for use in the marine environment and are used in accordance with best environmental practice to avoid contamination of the marine environment.

2) Between 1st October and 31st March inclusive, no usage of power tools or any percussive activity such as hammering shall take place on the Stem Extension or beyond during a period

from one hour before each high tide until one hour after that high tide. In order to minimise the risk of disturbance to the high-tide turnstone roost on the Pier.

3) Wherever possible works should take place outside of any periods of freezing weather conditions or whilst the ground remains frozen in order to minimise the risk of disturbance and thus to avoid causing additional stress to birds during periods when they are already subject to high levels of stress due to adverse weather conditions.

Protected species

We have not assessed this application and associated documents for impacts on protected species.

Natural England has published Standing Advice on protected species.

You should apply our Standing Advice to this application as it is a material consideration in the determination of applications in the same way as any individual response received from Natural England following consultation.

The Standing Advice should not be treated as giving any indication or providing any assurance in respect of European Protected Species (EPS) that the proposed development is unlikely to affect the EPS present on the site; nor should it be interpreted as meaning that Natural England has reached any views as to whether a licence is needed (which is the developer's responsibility) or may be granted.

If you have any specific questions on aspects that are not covered by our Standing Advice for European Protected Species or have difficulty in applying it to this application please contact us with details at consultations@naturalengland.org.uk.

Local sites

If the proposal site is on or adjacent to a local site, e.g. Local Wildlife Site, Regionally Important Geological/Geomorphological Site (RIGS) or Local Nature Reserve (LNR) the authority should ensure it has sufficient information to fully understand the impact of the proposal on the local site before it determines the application.

Sites of Special Scientific Interest Impact Risk Zones

The Town and Country Planning (Development Management Procedure) (England) Order 2015 requires local planning authorities to consult Natural England on "Development in or likely to affect a Site of Special Scientific Interest" (Schedule 4, w). Our SSSI Impact Risk Zones are a GIS dataset designed to be used during the planning application validation process to help local planning authorities decide when to consult Natural England on developments likely to affect a SSSI. The dataset and user guidance can be accessed from the data.gov.uk website

Royal National Lifeboat Institution

6.4 No comments received.

Public Consultation

6.5 Two site notices were displayed. No responses have been received at the time of writing.

7 Relevant Planning History

7.1 The site has extensive planning history. Those relevant to this application are:

7.2 17/01775/LBC and 17/01829/BC3 – demolish existing toilet block, erect single storey building forming public toilets and observation deck at the pier head – pending consideration

7.3 17/01664/LBC – refurbish 4 existing public shelters on pier (listed building consent) – granted 2017

7.4 17/00614/LBC - Replacement of pier pile caps to pier structure (Listed Building Consent)(Part Retrospective) - granted

7.5 16/01397/LBC - Emergency works to repair or replace pile caps to pier structure (Listed Building Consent) - granted 2016

7.6 15/01378/LBC – Emergency works to repair and strengthen the lower timber deck at the southwest corner of the pier head (Listed Building Consent) - granted 2015

7.7 15/00758/LBC – various repairs and maintenance to the Prince George extension (Listed Building Consent) – granted 2015

7.8 14/01841/LBC - Structural repairs to Pier (Listed Building Consent) - granted 2015

7.9 10/01563/LBC Structural repairs to Pier (Listed Building Consent) - granted 2010

7.10 05/01685/LBC Remove fire damaged structural steel units, timber decking and debris. Replace with new structural steel units and timber decking (Listed Building Consent) - granted 2006.

8 Recommendation

Members are recommended to GRANT LISTED BUILDING CONSENT subject to the following conditions

01 The development hereby permitted shall commence not later than 3 years beginning with the date of this permission.

Reason: Required to be imposed pursuant to Section 18 of the Planning (Listed Building and Conservation Areas) Act 1990.

02 The development hereby permitted shall be carried out in accordance with the approved plans 12211-HOP-24-XX-DR-C-0040-P2, 12211-HOP-24-XX-DR-C-0041-P2, 12211-HOP-24-XX-DR-C-0042-P2, 12211-HOP-24-XX-DR-C-0043-P2, 12211-HOP-24-XX-DR-C-0050-P2, 12211-HOP-24-XX-DR-C-0051-P1, 12211-HOP-24-XX-DR-C-0052-P1, 12211-HOP-24-XX-DR-C-0060-P2, 12211-HOP-24-XX-DR-C-0061-P2, C10918-C-001-0, C10918-C-169-0, C10918-C-170-0

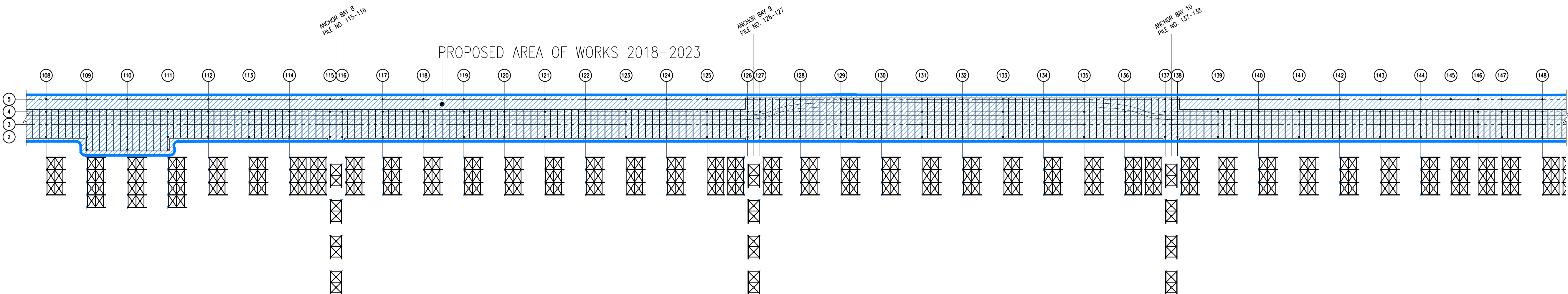
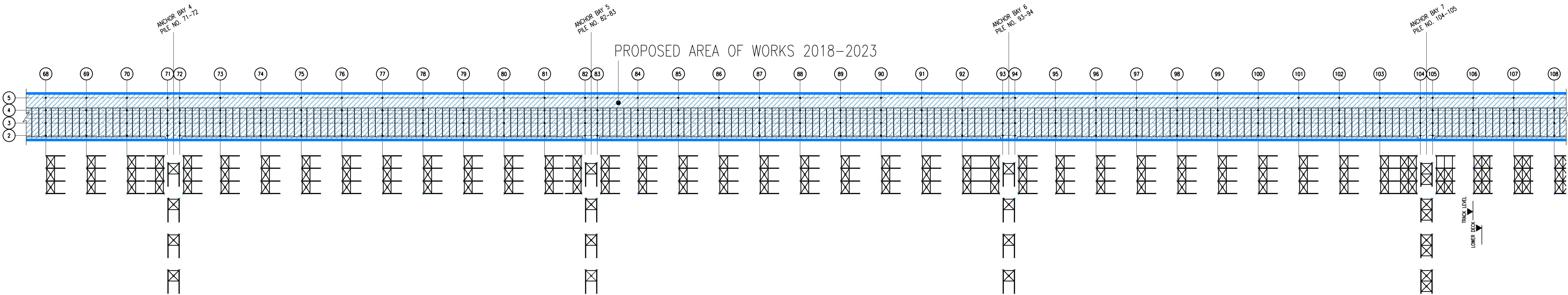
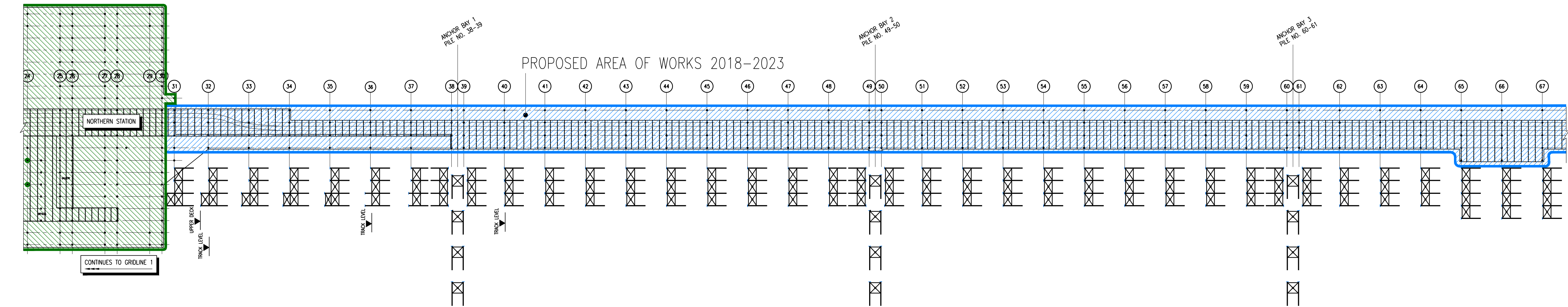
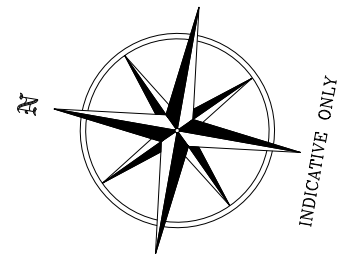
Reason: To ensure that the development is carried out in accordance with the Development Plan.

03 The materials for the proposed repairs shall be those specified on the approved plans and in the statements entitled 'Anchor Bay Refurbishment and Substructure Repairs' by HOP Consulting dated 10th November 2017 and 'Southend Pier 2017 Supporting Statement' received 14th November 2017 unless otherwise agreed in writing with the local planning authority.

Reason: To ensure the development suitably maintains and enhances the character and appearance of the listed building in accordance with the National Planning Policy Framework, policies KP2 and CP4 of the Southend-on-Sea Core Strategy (2007) and policies DM1, DM3 and DM5 of the Southend-on-Sea Development Management Document (2015) and advice contained within the Southend Design and Townscape Guide (2009).

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. Detailed analysis is set out in a report prepared by officers.

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 - (vi) Details are subject to change at the Engineers discretion.
 - (vii) All levels are approximate and should be confirmed on site.
 - (viii) Refer to DWGs 12211-HOP-24-XX-DR-C-0004/0005 for schedules and locations of members to be refurbished.

LEGEND

- IT IS PROPOSED THAT 50% OF ELEMENTS BETWEEN GRIDLINES 31&229 ARE REFURBISHED WHERE POSSIBLE OR REPLACED AS SHOWN ON DRAWING'S 12211-HOP-24-XX-DR-C-0060 AND 0061
- IT IS PROPOSED THAT 25% OF ELEMENTS BETWEEN GRIDLINES 1&31 AND 229&257 ARE REFURBISHED WHERE POSSIBLE OR REPLACED AS SHOWN ON DRAWING'S 12211-HOP-24-XX-DR-C-0060 AND 0061

PLEASE REFER TO THE HERITAGE STATEMENT SUBMITTED AS PART OF THIS SUBMISSION FOR FURTHER INFORMATION

BRACING IS INCLUDED IN PROPOSED WORKS

147

Copyright 1:20 0 0.2m 0.4m 0.6m 0.8m 1m 1:50 0 0.5m 1m 1.5m 2m 2.5m 1:100 0 1m 2m 3m 4m 5m

ISSUED FOR INFORMATION	LRS N.C. 10.11.17	P2
ISSUED FOR INFORMATION	LRS N.C. 30.10.17	P1
Description	By	Appr. Date

ISSUED FOR INFORMATION

Title: **GENERAL ARRANGEMENT SHEET 1 OF 2**

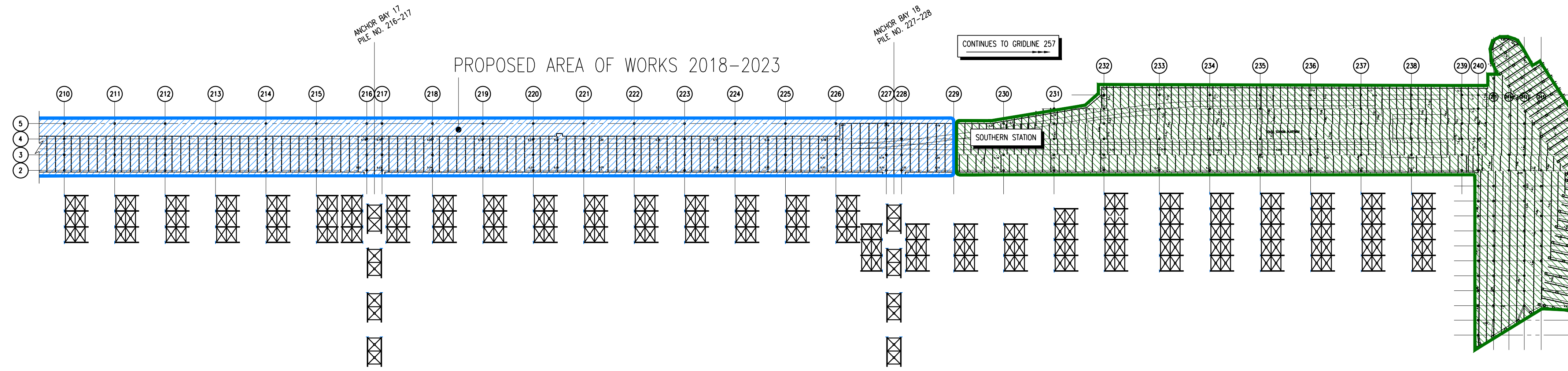
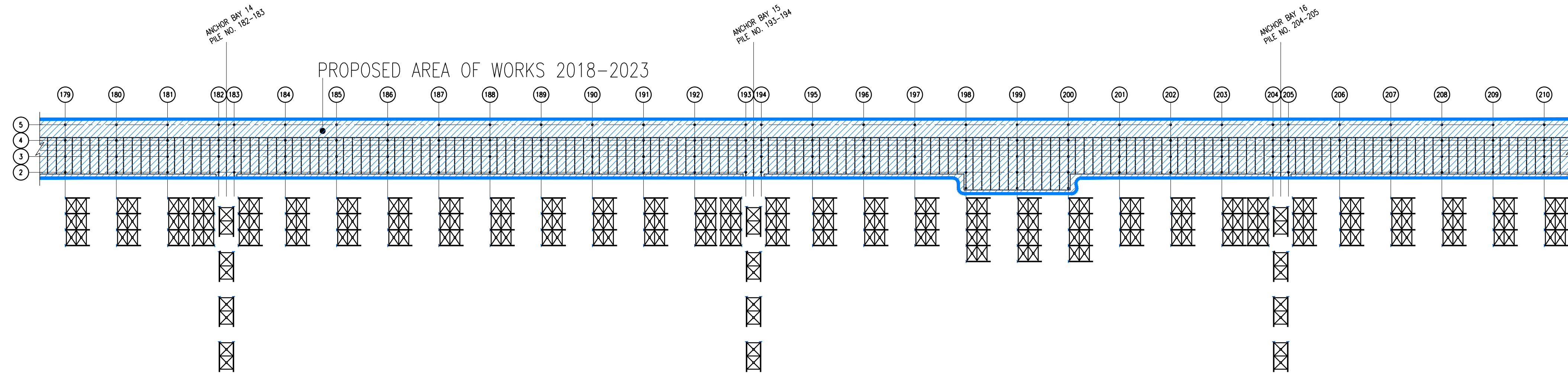
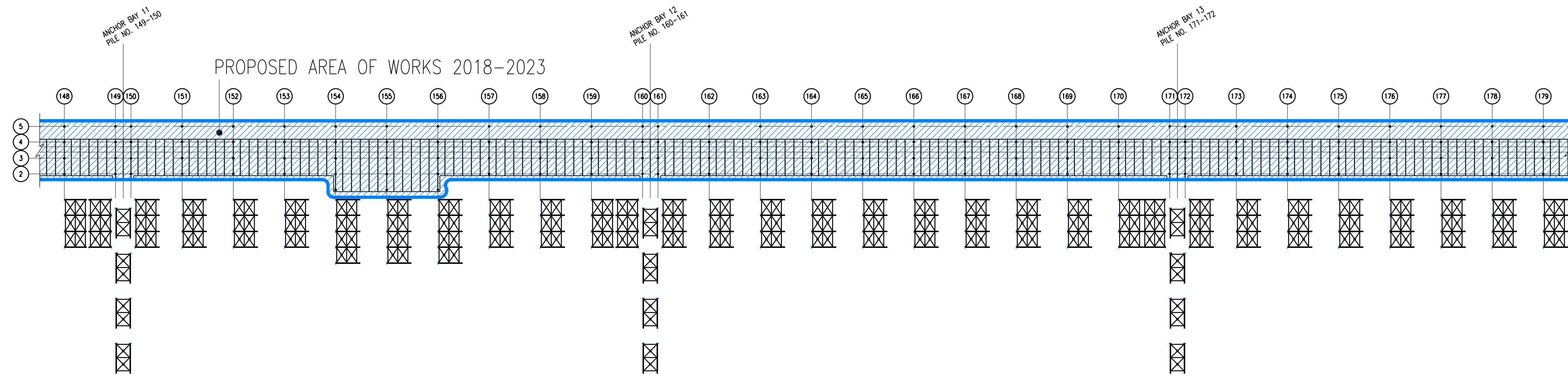
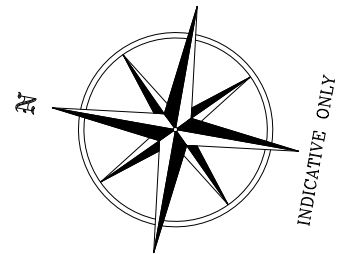
Project: **SOUTHEAD PIER SUBSTRUCTURE REPAIRS LISTED BUILDING CONSENT 5 YEAR PLAN**

Client: **SOUTHEAD-ON-SEA BOROUGH COUNCIL**

HOP CONSULTING CIVIL AND STRUCTURAL ENGINEERS

HOP House, 41 Church Road Hove, East Sussex BN3 2BE
www.hop.uk.com
ask@hop.uk.com
+44 (0)1273 223900

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LEGEND

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PLEASE REFER TO THE HERITAGE STATEMENT SUBMITTED AS PART OF THIS SUBMISSION FOR FURTHER INFORMATION

BRACING IS INCLUDED IN PROPOSED WORKS

ISSUED FOR INFORMATION	LR5 N.C. 10.11.17	P2
ISSUED FOR INFORMATION	LR5 N.C. 30.10.17	P1
Description	By	App'd. Date

ISSUED FOR INFORMATION

Title: GENERAL ARRANGEMENT SHEET 2 OF 2

Project: SOUTHEND PIER SUBSTRUCTURE REPAIRS LISTEN BUILDING CONSENT 5 YEAR PLAN

Client: SOUTHEND-ON-SEA BOROUGH COUNCIL

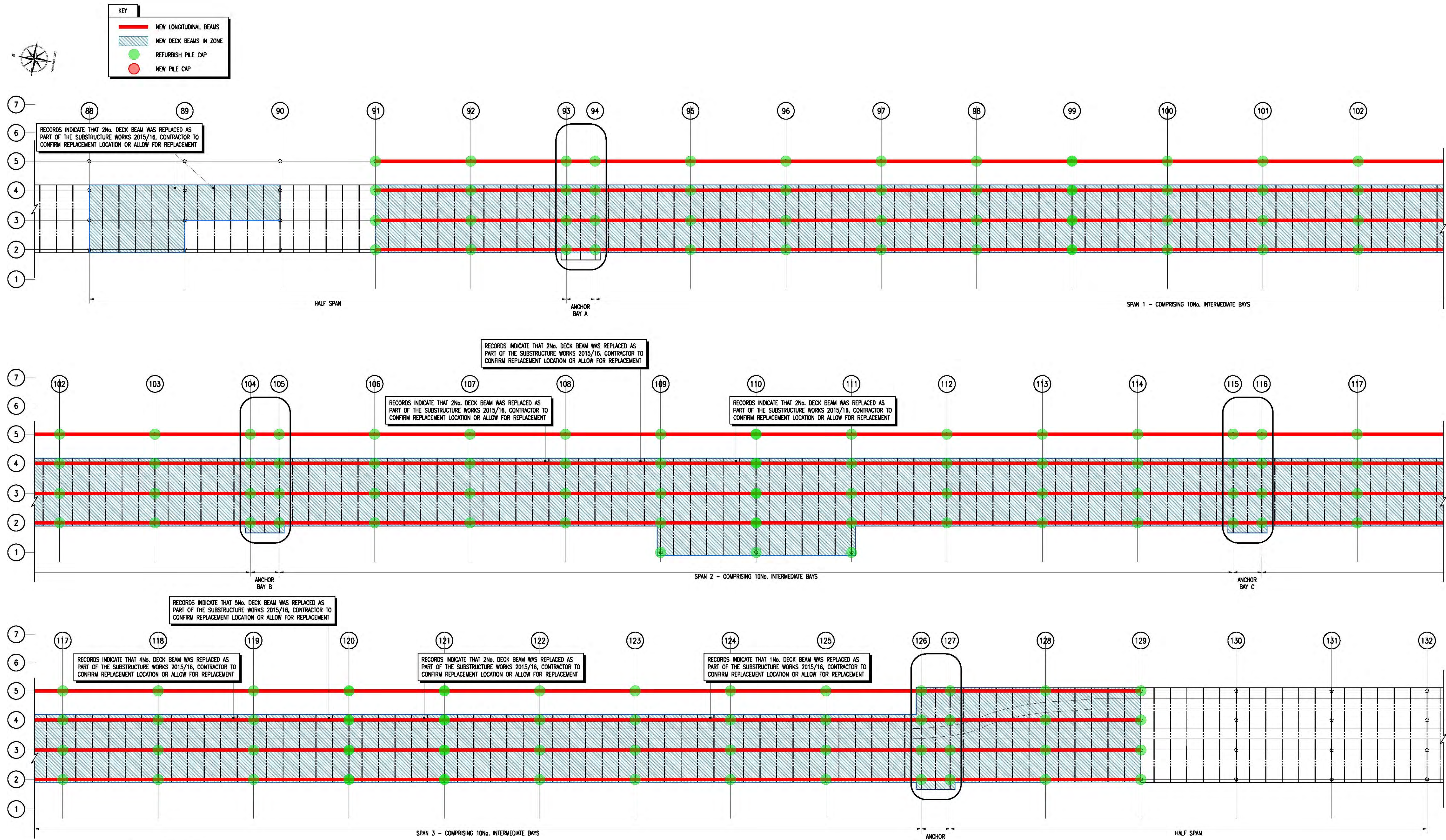
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ask@hop.uk.com
+44 (0)1273 223900

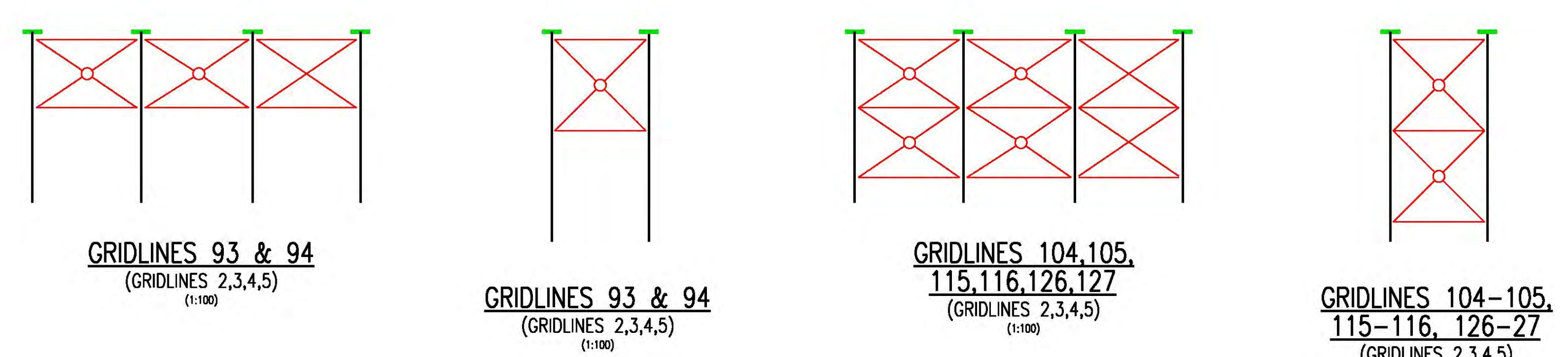
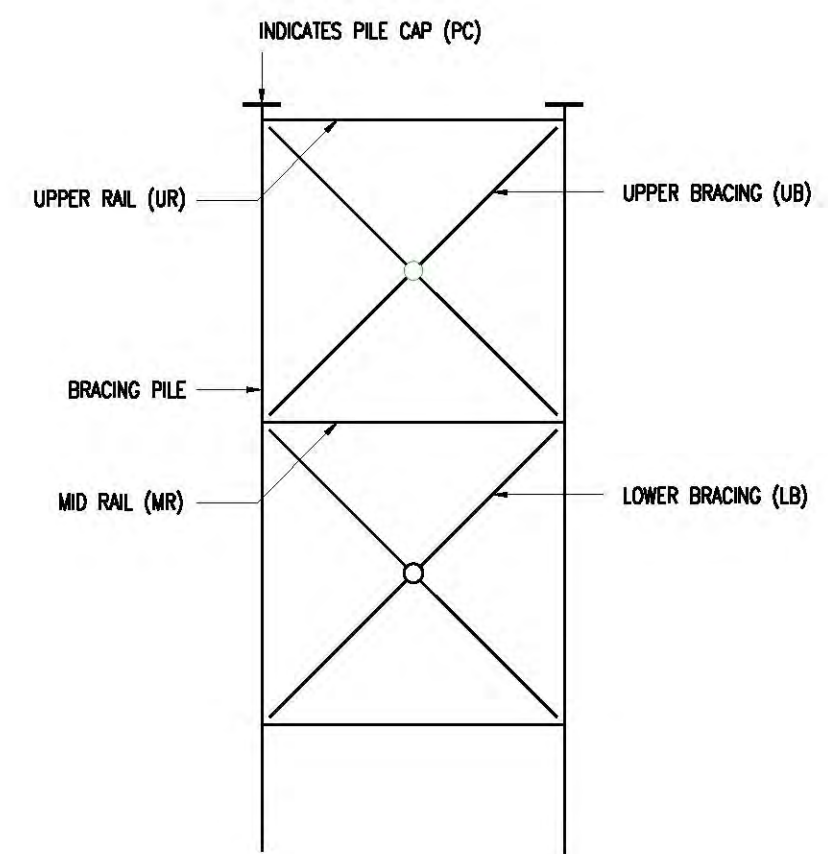
81

Copyright 1:20 0 0.2m 0.4m 0.6m 0.8m 1m 1:50 0 0.5m 1m 1.5m 2m 2.5m 1:100 0 1m 2m 3m 4m 5m

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 - (vi) Details are subject to change at the Engineer's discretion.
- 2. RAILS & BRACING**
- (i) All rails & bracing, in anchor bays, to be replaced with new items.
 - (ii) All removed steelwork, in good condition, to be retained for SOSBC. This may be reused.
 - (iii) Contractor to inspect rails and bracing between anchor bays. Additional replacement works to be determined and agreed with the engineer.
- 3. RECENT REPLACEMENTS**
- (i) Some recently replaced members may not require changing. To be assessed on site by the Contractor and agreed with the Engineer. All contracted works are remeasurable.



NOTE

ALL RAILS & BRACING AT ANCHOR BAYS TO BE REPLACED. SEE NOTE 2 AND HOP DRAWING NO. 12211-HOP-24-XX-DR-C-0006

TYPICAL SCHEMATIC OF PIER SUBSTRUCTURE
(NTS)

ISSUED FOR INFORMATION	LRS (N.C.)	30.10.17	P1
Description	By	Apptd. Date	Rev.
ISSUED FOR INFORMATION			
Title PROPOSED REPAIR WORKS OPTION 2 ANCHOR BAY REFURBISHMENT & ADJACENT BAYS			
Project SOUTHEND PIER SUBSTRUCTURE REPAIRS LISTED BUILDING CONSENT 5 YEAR PLAN			
Client SOUTHEND-ON-SEA BOROUGH COUNCIL			
HOP House, 41 Church Road Hove, East Sussex BN3 2BE www.hop-uk.com ask@hop-uk.com +44 (0)1273 223900			
Drawing No.	12211-HOP-24-XX-DR-C-0052		Sheet S2
Copyright			Rev. P1

151
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- (vi) Details are subject to change at the Engineers discretion.
- (vii) All levels are approximate and should be confirmed on site.
- (viii) Refer to drawings 12211-HOP-24-XX-DR-C-0003 for schedules and locations of members to be refurbished.

2. STEELWORK

- (i) All plates and flats to be grade S275J0, all hot rolled sections to be grade S355J0 unless otherwise noted. All to standards BS EN 10025-1:2004.
- (ii) All structural steelwork shall comply with the latest addition of the 'National Structural Steelwork Specification For Building Construction'. All fabricated steelwork shall comply with BS EN 1090-1 (Execution Class EXC2).
- (iii) All surface preparation work to steelwork to be in accordance with BS7079:2009. All steelwork to be blast cleaned to SA2.5 unless otherwise stated.
- (iv) All bolts to be grade 8.8 and conform to BS EN 15048-1:2016 unless otherwise stated.

3. CORROSION PROTECTION SYSTEM (MIN 85µm PER FACE)

- (i) All replacement steelwork to be hot dipped galvanised to BS EN ISO 1461 followed by suitable acid etching of surfaces to receive shop applied paint protection.
- (ii) All new Structural Steelwork to be further protected with shop applied paint protection in line with the following specification or similar to be agreed with the Engineer prior to fabrication:
 1. 1 shop applied coat of Zinc Rich Epoxy Primer 40 microns DFT.
 2. 1 or 2 shop applied coats of High Build Epoxy MD (Miscellaneous Iron Oxide) 200 microns DFT.
 3. 1 shop applied coat of High Solid Aliphatic Polyurethane Finish 80 microns DFT.
- (iii) Existing Cast Iron Pipe caps to be refurbished are to receive in-situ applied paint protection. In-situ paint to be an epoxy protective coating to 500 microns DFT or similar to be agreed with the Engineer prior to fabrication with compatible zinc rich primer.
- (iv) Contractor to provide all manufacturers point specifications to the Engineer prior to fabrication.

4. WELDING

- (i) Welding shall be in accordance with BS EN 1011. All welds shall be visually inspected and a representative sample shall be tested by Magnetic Particle Inspection to BS-EN-ISO 17635:2016. All defects shall be removed and made good. Sample rates to be confirmed by Engineer (refer to contract documents).
- (ii) All welds to be 10mm fillet welds or full penetration butt welds all round joints unless stated otherwise.
- (iii) All welds to be as shown on drawings. Ensure no pinholes or pits are left in weld area. All welds to be ground smooth.
- (iv) All sharp corners to be rounded off to a radius of 2mm or more.

5. EXISTING SERVICES

- (i) Extensive services and utilities exist under the deck of the pier. The contractor should allow for proprietary protection/isolation of such services as appropriate and close liaison with the pier management. Note that the fire main is a pressurised system, requiring thrust block reactions.
- (ii) Where new structural elements are to be installed around existing services due care and attention should be given to such services.

6. INSTALLATION OF NYLOC NUTS

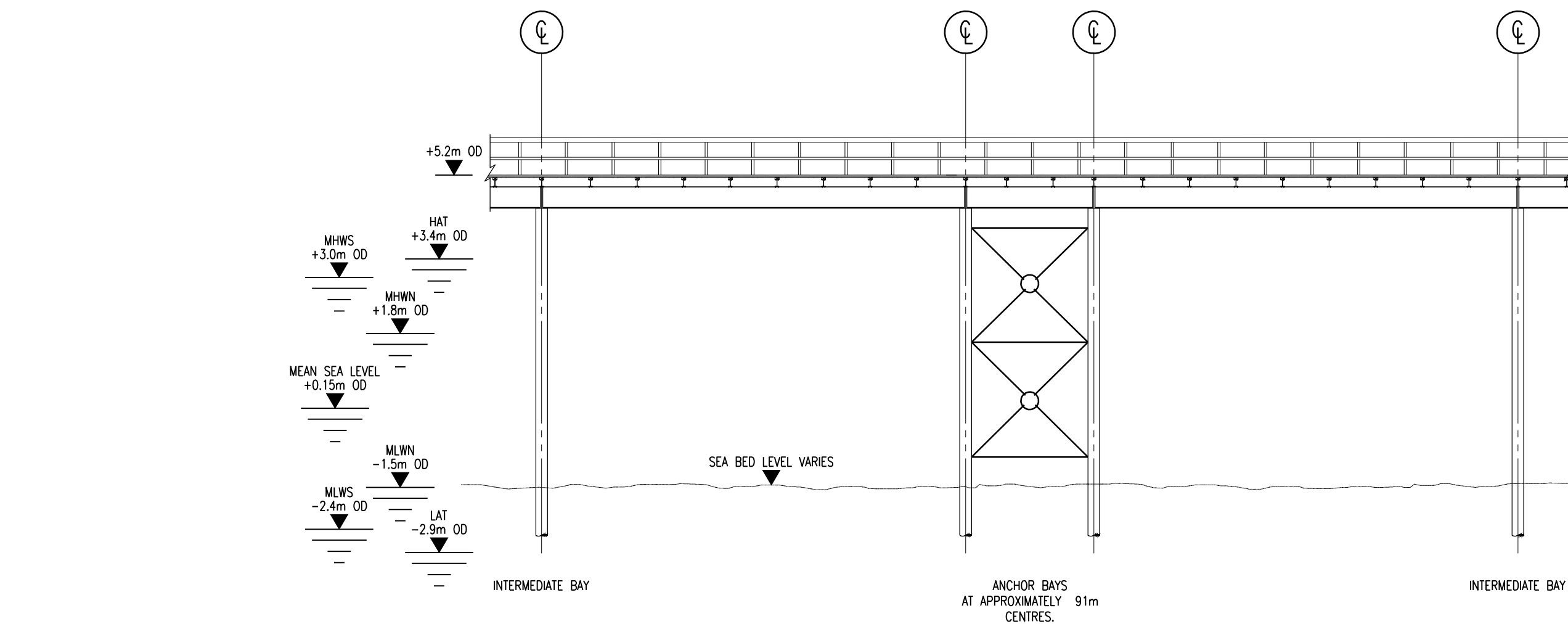
- (i) Where specified, nyloc nuts shall be used. Intersection clips and rail hoop clamps to be always fixed using nyloc nuts to prevent wave action loosening bolts.
- (ii) Excessive torquing of nuts will damage nylon insert and reduce locking power. Avoid over-torquing.
- (iii) Nyloc nuts **MUST NOT BE USED**. Re-use results in reduced locking power due to re-stressing of nylon insert.

7. DIMENSIONS

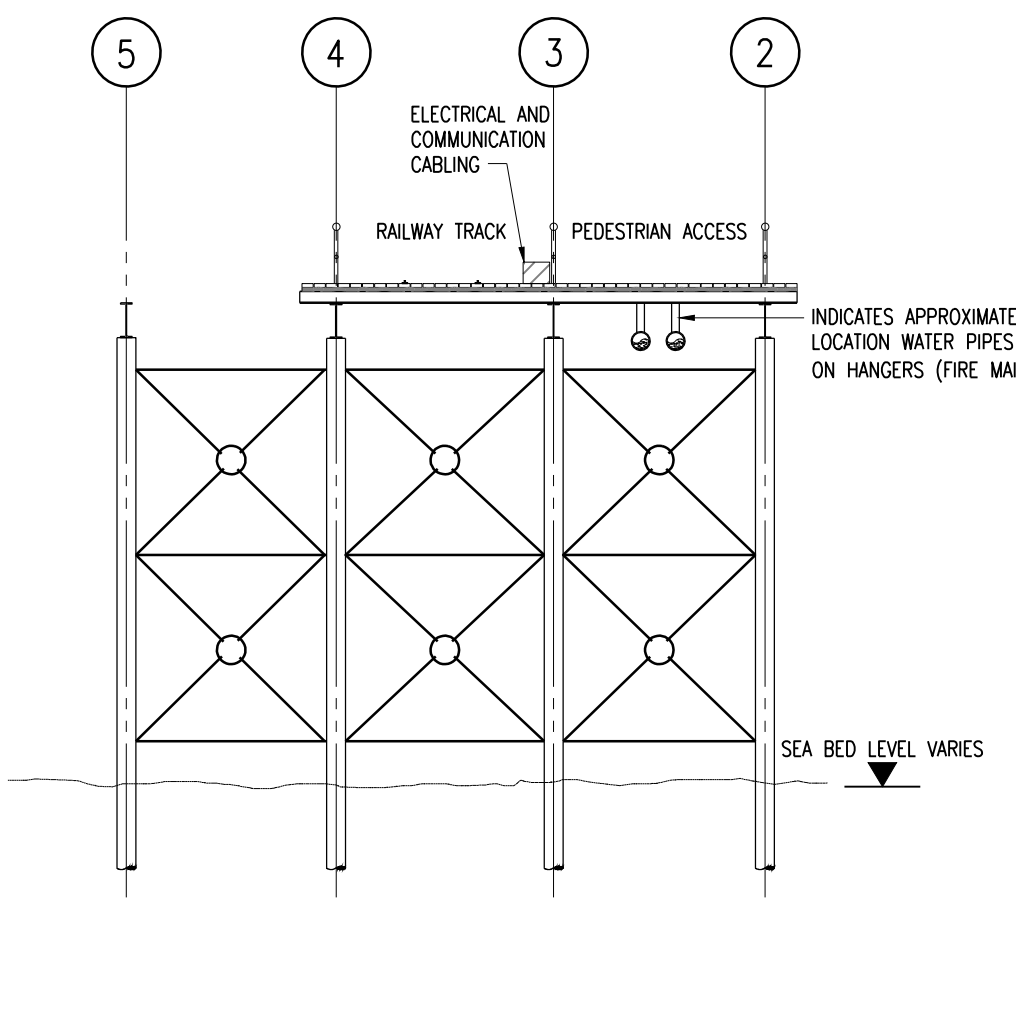
- (i) Site dimensions given are nominal only. Spans and depths of elements will be individual to each location of structural element.
- (ii) The contractor is responsible for taking site dimensions to enable exact fabrication details to be produced. This drawing is indicative only and physical measurements must be taken with any significant discrepancies reported to the employees.
- (iii) The contractor is responsible for cutting, fitting, welding connections and connecting new elements to existing adjacent elements.

8. TEMPORARY SUPPORT

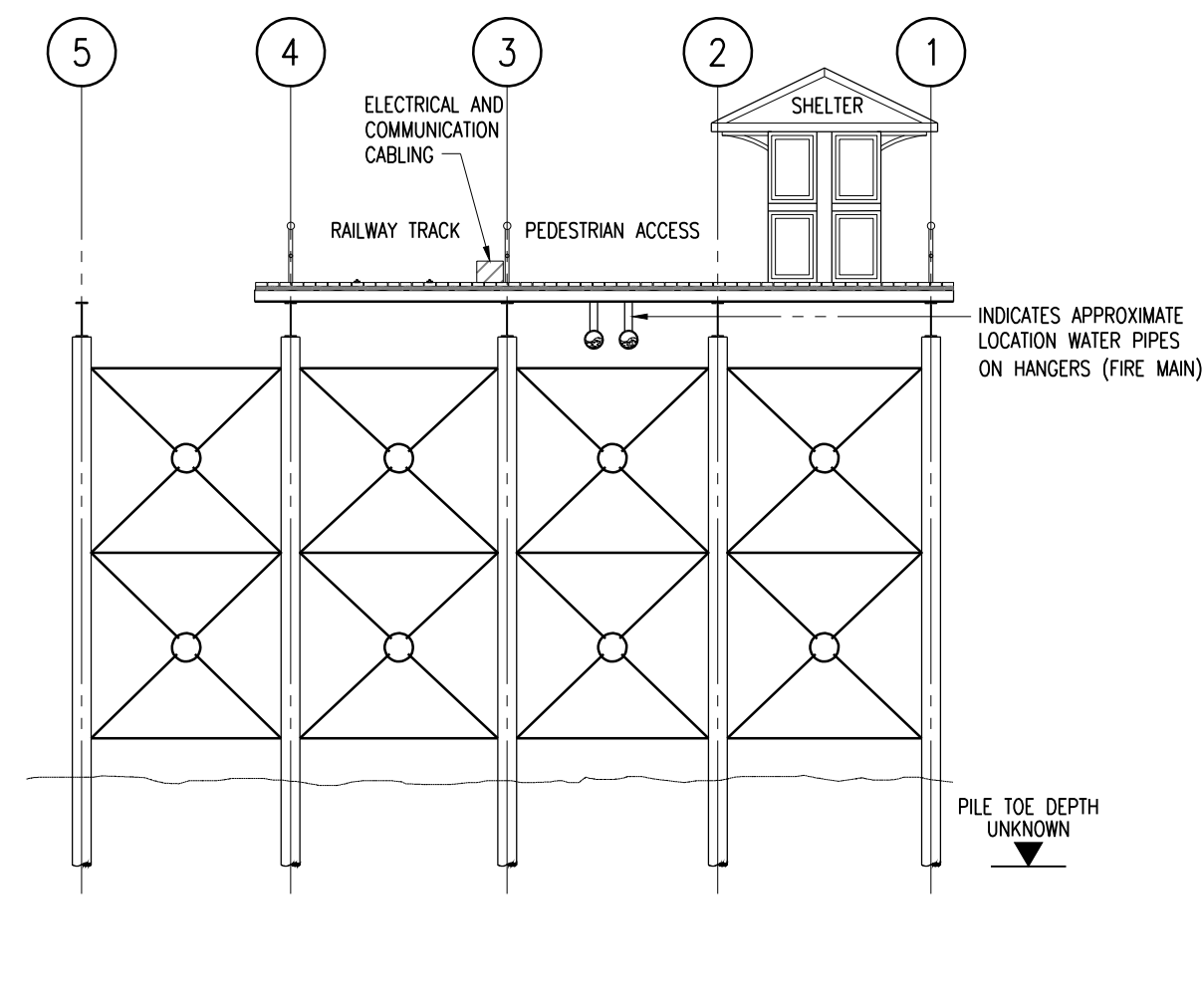
- (i) Temporary support to be designed and provided by the Contractor.
- (ii) Public deck to remain open where safe to do so, loading details are provided in the tender document.



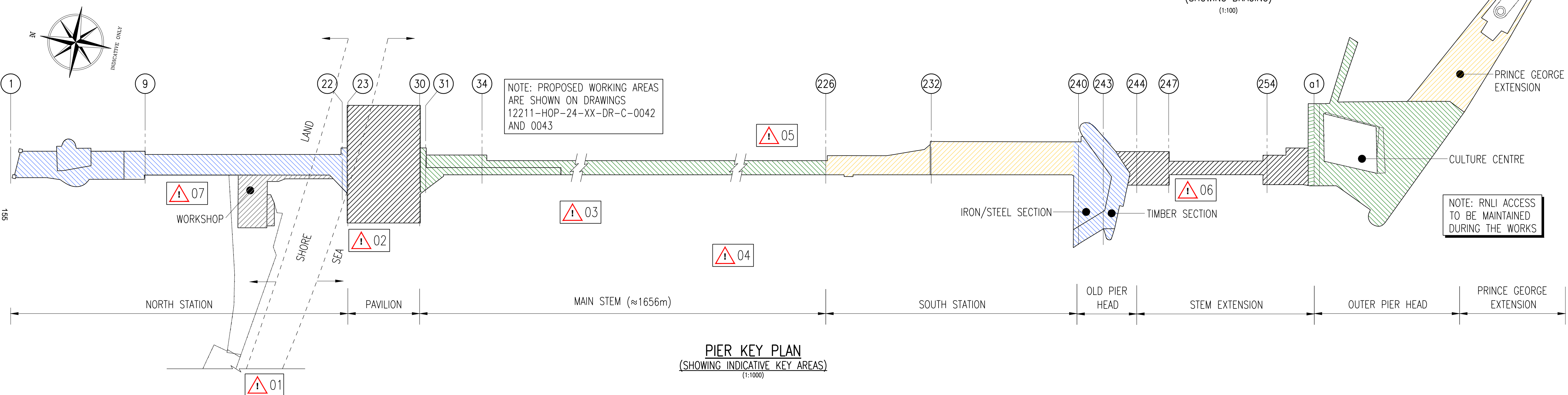
TYPICAL SIDE ELEVATION (SHOWING BRACING)
(1:100)



TYPICAL SECTION THROUGH MAIN STEM (SHOWING BRACING)
(1:100)



TYPICAL SECTION THROUGH MAIN STEM AT SHELTER POSITION (SHOWING BRACING)
(1:100)



PIER KEY PLAN (SHOWING INDICATIVE KEY AREAS)
(1:1000)

CONSTRUCTION HAZARDS:-

ACTIVITY, SITUATION OR OPERATION	HAZARDS IDENTIFIED	ACTIVITY, SITUATION OR OPERATION	HAZARDS IDENTIFIED
Working at height	Fall from height. Falls from platforms. Materials and tools falling from height. Overturning of mobile access towers etc.	Use of trestles and trestle scaffold	Falls from platforms. Materials falling from platforms. Collapse of trestle platforms. Submersion/wave impact (sub deck level).
Working over water	Falls from height into water. Drowning or pneumonia from falling into water.	Cartridge operated tools	Negligent discharge projectile/missile. Eye injury from premature firing, fragmentation. Ricochet of fastener or fixing device. Recoil throwing operative off balance.
Working on the foreshore	Some rails and bracing can be done from land. Reference Quicksand, tidal waters, and fast currents.	Use of woodworking machines	Injury from use or handling materials. Personnel falling.
Working in exposed conditions	Wind moving materials or plant on the deck. Slippery conditions underfoot. Wave submersion/ overlapping (sub deck level). Adverse weather.	Lifting/Craning operations	Lifting objects over public areas. Accidental load shedding/unplanned impact. Crushing injuries to personnel. Equipment overturning/outriggers overloading deck.
General public	Public will be able to access the site the majority of the time. Contractor to provide boundaries and secure areas.	Storage and use of flammable liquids	Injury by fire or explosion. Structural damage from fire. Property destroyed by fire or explosion.
Working near hidden services (on deck, under deck)	Rupturing of water pipes (some pressurised) causing damage. Cutting above or below deck (HV) power cables and telecommunications. Rupturing of drains etc. causing health hazard. Electrocuting. Asphyxiation.	Hot works	Avoid or manage accordingly.
Ground conditions	Unstable and uneven ground. Potential for quicksand. Contaminated ground.	General work on Southend Pier	Working close to an existing live train track. Pneumonia and Hepatitis from Guano accumulation. Falling through existing deck hatch openings. Presence of rats, seagulls, pigeons (Weil's disease).
Existing structure	Instability of old piles. Instability of old rails/ bracing.	Gas Mains	Live Gas Mains are located in the Museum, Cafe and Workshop.
Erection of steel structures	Fall from height. Structural collapse in the temporary condition. Lifting appliance overturning. Contact or damage to services and adjacent structures. Fall from height. Structural collapse in the temporary condition. Lifting appliance overturning. Contact or damage to services and adjacent structures.	ENVIRONMENTAL CONSIDERATIONS:-	

- PRINCIPAL CONTRACTOR METHOD STATEMENTS TO INCORPORATE MEASURES TO ENSURE COMPLIANCE WITH REGULATIONS IMPOSED BY ENVIRONMENTAL SITE CLASSIFICATIONS.
- SITE EXTENDS OVER AN SITE OF SPECIAL SCIENTIFIC INTEREST (SSSI) (SOUTHEND FLATS)
- SITE IS A RAMSAR SITE.
- SITE IS IN A SPECIAL PROTECTION AREA (SPA), THE BEACH FORESHORE IS THEREFORE SUBJECT TO THE CONSERVATION (NATURAL HABITATS) REGULATIONS AND THE WILDLIFE AND COUNTRYSIDE ACT.

HAZARD KEY

- 1 - Busy cycle and pedestrian route as well as vehicle access to pier car parks.
- 2 - Public access below the pier.
- 3 - Pier will remain open to public during the majority of works (refer to seasonal opening hours times).
- 4 - Quicksand, extremely fast incoming tides, and high currents.
- 5 - Working under the pier is hazardous and specialist access may be required.
- 6 - Additional hazards include weather conditions and working over water.
- 7 - Gas service mains in the museum, office and workshop.

LEVELS	
DESCRIPTION	LEVEL ABOVE ORDINANCE DATUM
APPROX DECK LEVEL	5.2m*
HAT	3.4m
MHWS	3.0m
MHWN	1.8m
MLWN	-1.5m
MLWS	-2.4m
LAT	-2.9m
* LEVEL VARIES AT REBUILT PIER HEAD	

TIDE LEVELS TAKEN FROM ADMIRALTY TIDES TABLE 2017

ISSUED FOR TENDER	LS N/C	10.11.17	P1
Description	By	Appt. Date	Rev.

ISSUED FOR INFORMATION

GENERAL ARRANGEMENT AND TYPICAL SECTIONS

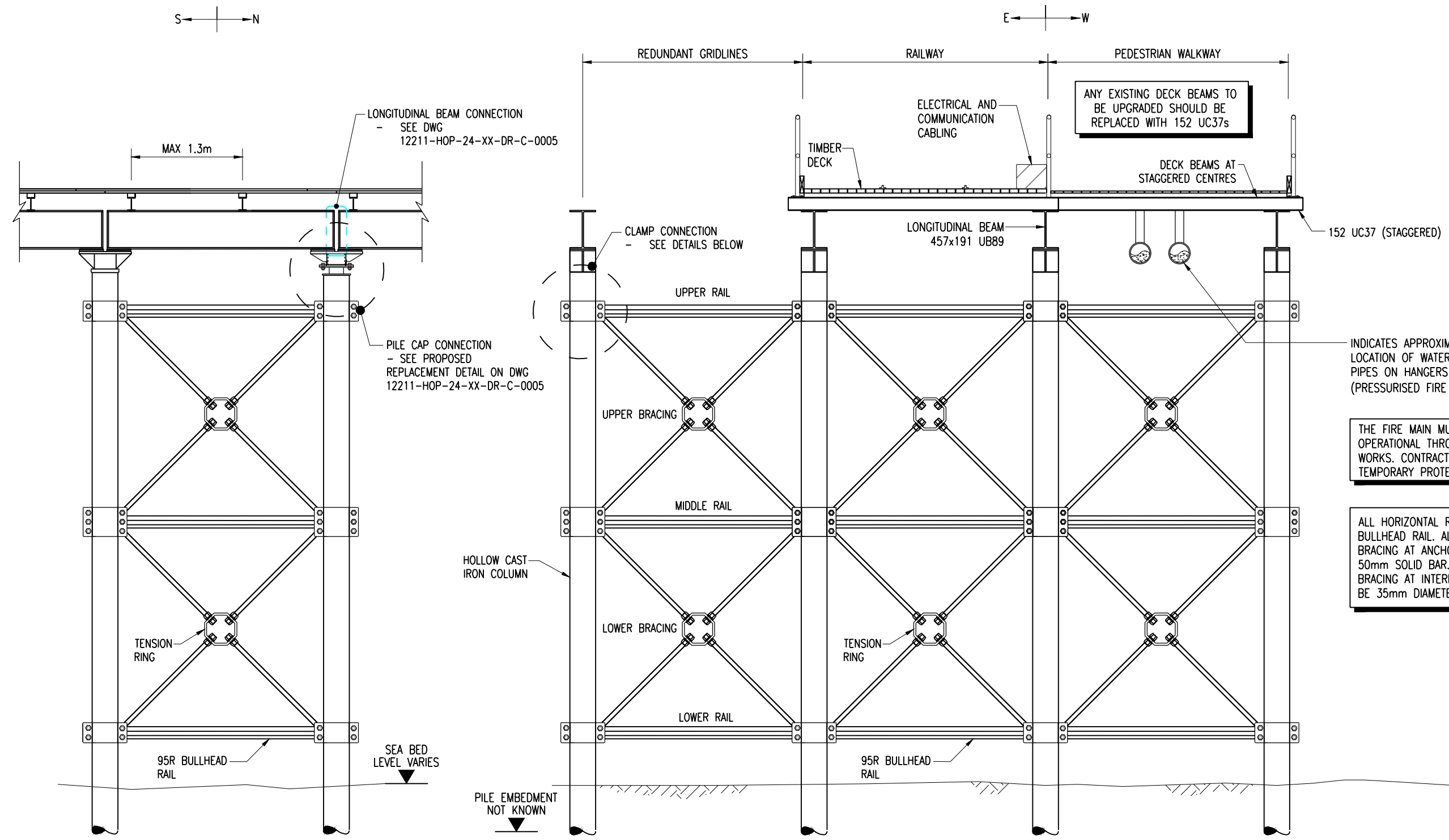
Project: SOUTHEM PIER SUBSTRUCTURE REPAIRS LISTED BUILDING CONSENT 5 YEAR PLAN

Client: SOUTHEM-ON-SEA BOROUGH COUNCIL

HOP CONSULTING CIVIL AND STRUCTURAL ENGINEERS
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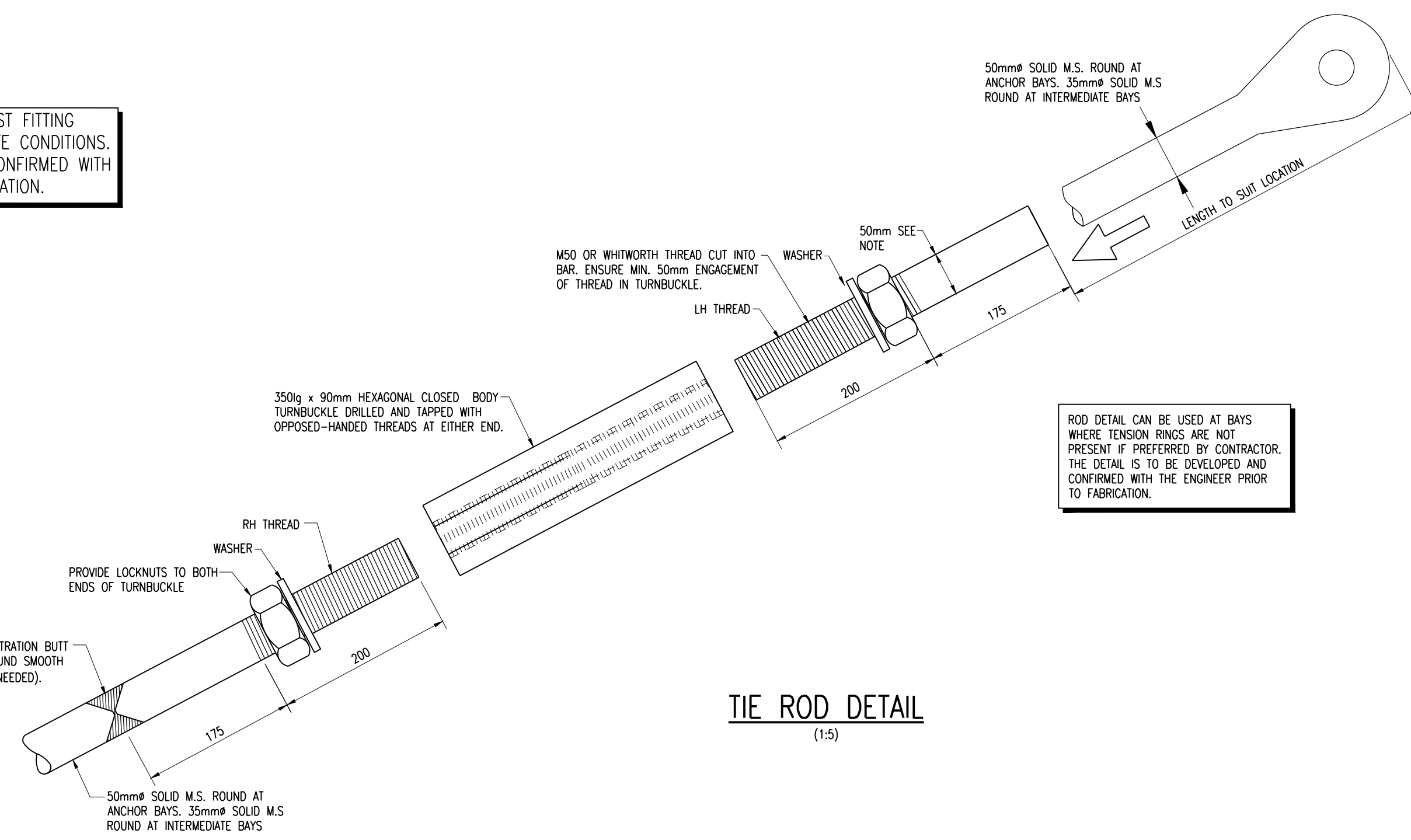


CONTRACTOR TO ADJUST FITTING DETAILS BASED ON SITE CONDITIONS. ALL DETAILS TO BE CONFIRMED WITH HOP PRIOR TO FABRICATION.

INDICATES APPROXIMATE LOCATION OF WATER PIPES ON HANGERS (PRESSURISED FIRE MAIN)

THE FIRE MAIN MUST REMAIN OPERATIONAL THROUGHOUT THE WORKS. CONTRACTOR TO PROVIDE TEMPORARY PROTECTION.

ALL HORIZONTAL RAILS TO BE 95R BULLHEAD RAIL. ALL DIAGONAL BRACING AT ANCHOR BAYS TO BE 50mm SOLID BAR. ALL DIAGONAL BRACING AT INTERMEDIATE BAYS TO BE 35mm DIAMETER BAR.



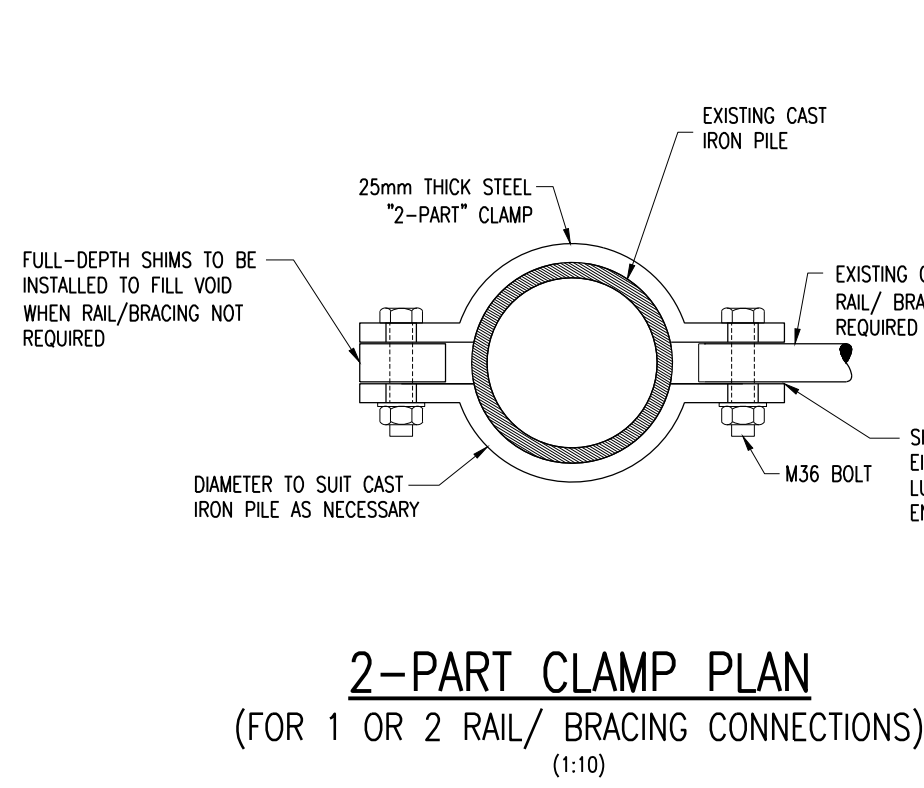
TIE ROD DETAIL (1:5)

ROD DETAIL CAN BE USED AT BAYS WHERE TENSION RINGS ARE NOT PRESENT IF PREFERRED BY CONTRACTOR. THE DETAIL IS TO BE DEVELOPED AND CONFIRMED WITH THE ENGINEER PRIOR TO FABRICATION.

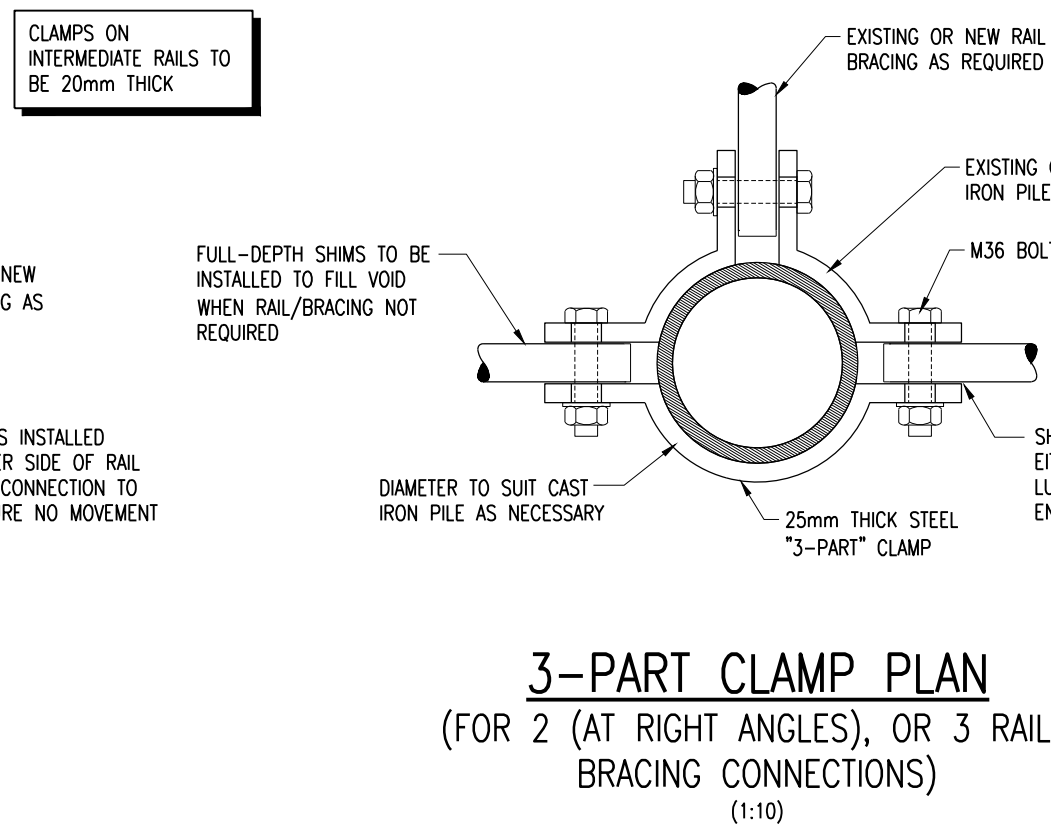
PROPOSED REFURBISHMENT OF LONGITUDINAL BRACING (ANCHOR BAY ELEVATION) (1:50)

PROPOSED REFURBISHMENT OF TRANSVERSE BRACING (ANCHOR BAY/ INTERMEDIATE BAY ELEVATION) (1:50)

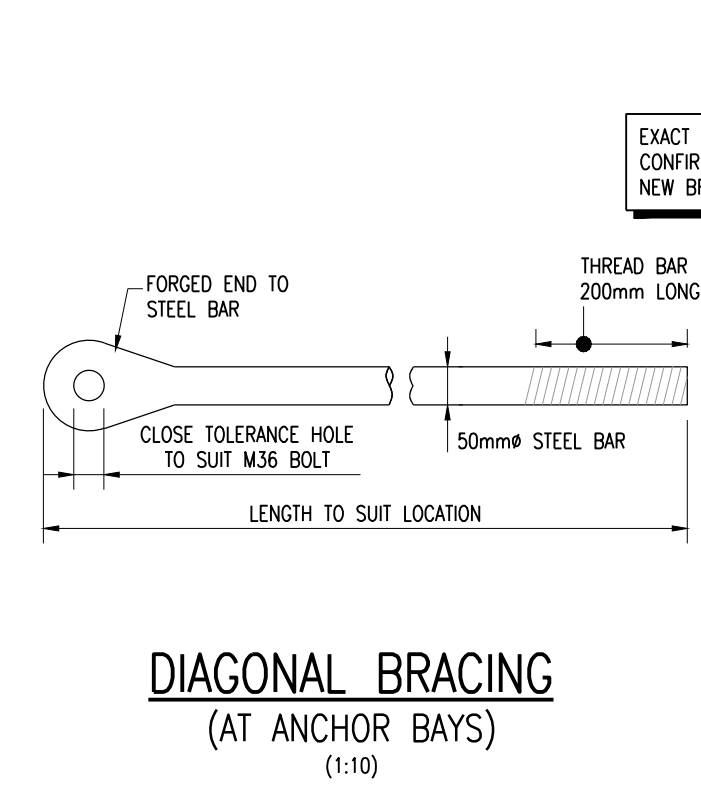
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 - (ix) Details are subject to change at the Engineer's discretion.
- STEELWORK
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 - (iv) All bolts to be grade 8.8 and conform to BS EN 15048-1:2016 unless otherwise stated.
- CORROSION PROTECTION SYSTEM
 - (i) All replacement steelwork to be hot dipped galvanised to BS EN ISO 1461 followed by suitable acid etching of surfaces to receive shop applied point protection.
 - 1 shop applied coat of Zinc Rich Epoxy Primer 40 microns DFT.
 - 2 1 or 2 shop applied coats of High Build Epoxy MD (Micoceous Iron Oxide) 200 microns DFT.
 - 3 1 shop applied coat of High Solid Aliphatic Polyurethane Finish 80 microns DFT.
 - (ii) All new Structural Steelwork to be further protected with shop applied point protection in line with the following specification or similar to be agreed with the Engineer prior to fabrication:
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 - (iii) Existing Cast Iron Pile caps to be refurbished are to receive in-situ applied point protection. In-situ point to be an epoxy protective coating to 500 microns DFT or similar to be agreed with the Engineer prior to fabrication with compatible zinc rich primer.
 - (iv) Contractor to provide all manufacturers point specifications to the Engineer prior to fabrication.
- WELDING
 - (i) All welds shall be in accordance with BS EN 1011. All welds shall be visually inspected and a representative sample shall be tested by Magnetic Particle Inspection to BS-EN-ISO 17638:2016. All defects shall be removed and made good. Sample rates to be confirmed by Engineer (refer to contract documents).
 - (ii) All welds to be 10mm fillet welds or full penetration butt welds all round joints unless stated otherwise.
 - (iii) All welds to be as shown on drawings. Ensure no pinholes or pits are left in weld area. All welds to be ground smooth.
 - (iv) All sharp corners to be rounded off to a radius of 2mm or more.
- EXISTING SERVICES
 - (i) Extensive services and utilities exist under the deck of the pier. The contractor should allow for proprietary protection/relief of such services as appropriate and close liaison with the pier management. Note that the fire main is a pressurised system, requiring thrust block reactions.
 - (ii) Where new structural elements are to be installed around existing services due care and attention should be given to such services.
- INSTALLATION OF NYLOC NUTS
 - (i) Where specified, nyloc nuts shall be used. Intersection clips and rail hoop clamps to be always fixed using nyloc nuts to prevent wave action loosening bolts.
 - (ii) Excessive torquing of nuts will damage nylon insert and reduce locking power. Avoid over-torquing.
 - (iii) Nyloc nuts MUST NOT BE RE-USED. Re-use results in reduced locking power due to re-stressing of nylon insert.
- DIMENSIONS
 - (i) Site dimensions given are nominal only. Spans and depths of elements will be individual to each location of structural element.
 - (ii) The contractor is responsible for taking site dimensions to enable exact fabrication details to be produced. This drawing is indicative only and physical measurements must be taken with any significant discrepancies reported to the employers.
 - (iii) The contractor is responsible for cutting, fitting, welding connections and connecting new elements to existing adjacent elements.
- TEMPORARY SUPPORT
 - (i) Temporary support to be designed and provided by the Contractor.
 - (ii) Public deck to remain open where safe to do so, loading details are provided in the tender document.



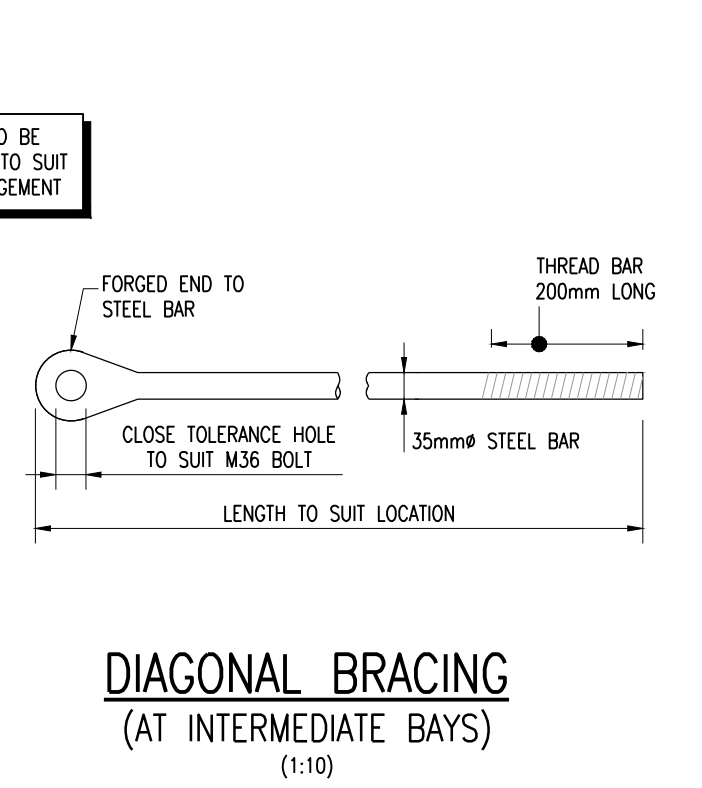
2-PART CLAMP PLAN (FOR 1 OR 2 RAIL/ BRACING CONNECTIONS) (1:10)



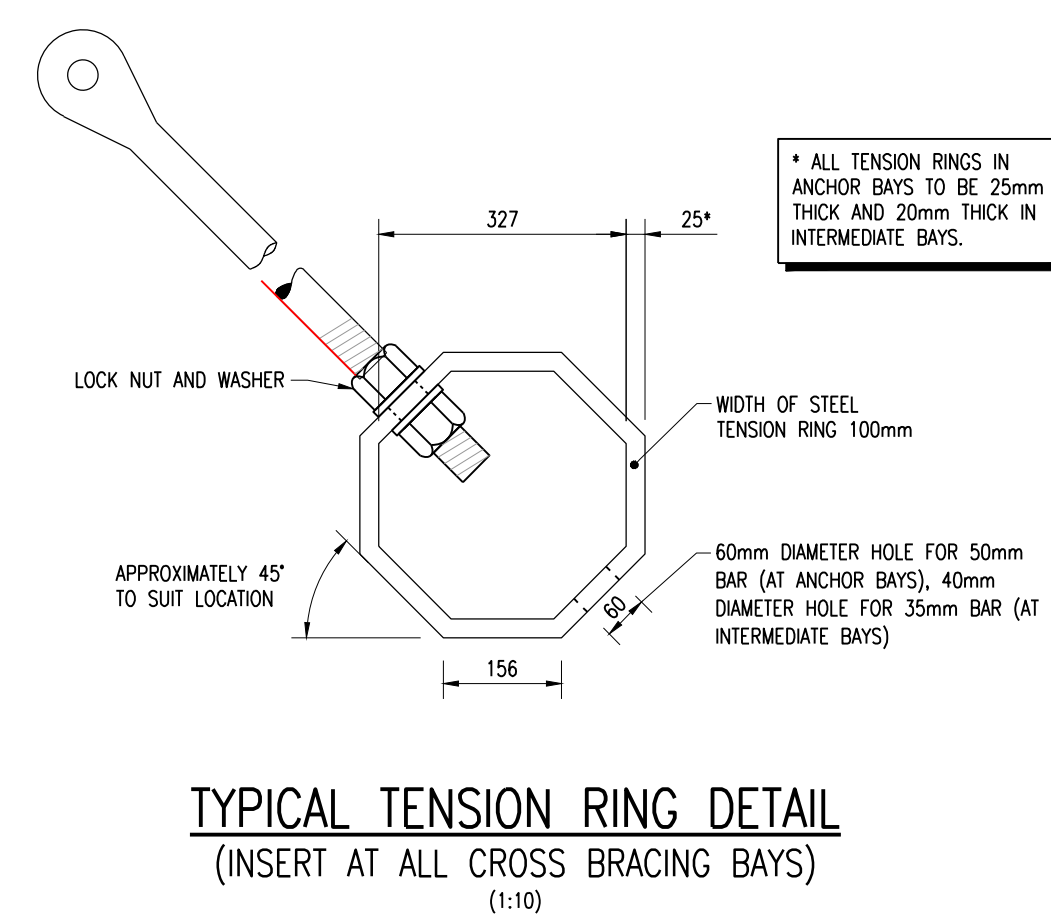
3-PART CLAMP PLAN (FOR 2 (AT RIGHT ANGLES), OR 3 RAIL/ BRACING CONNECTIONS) (1:10)



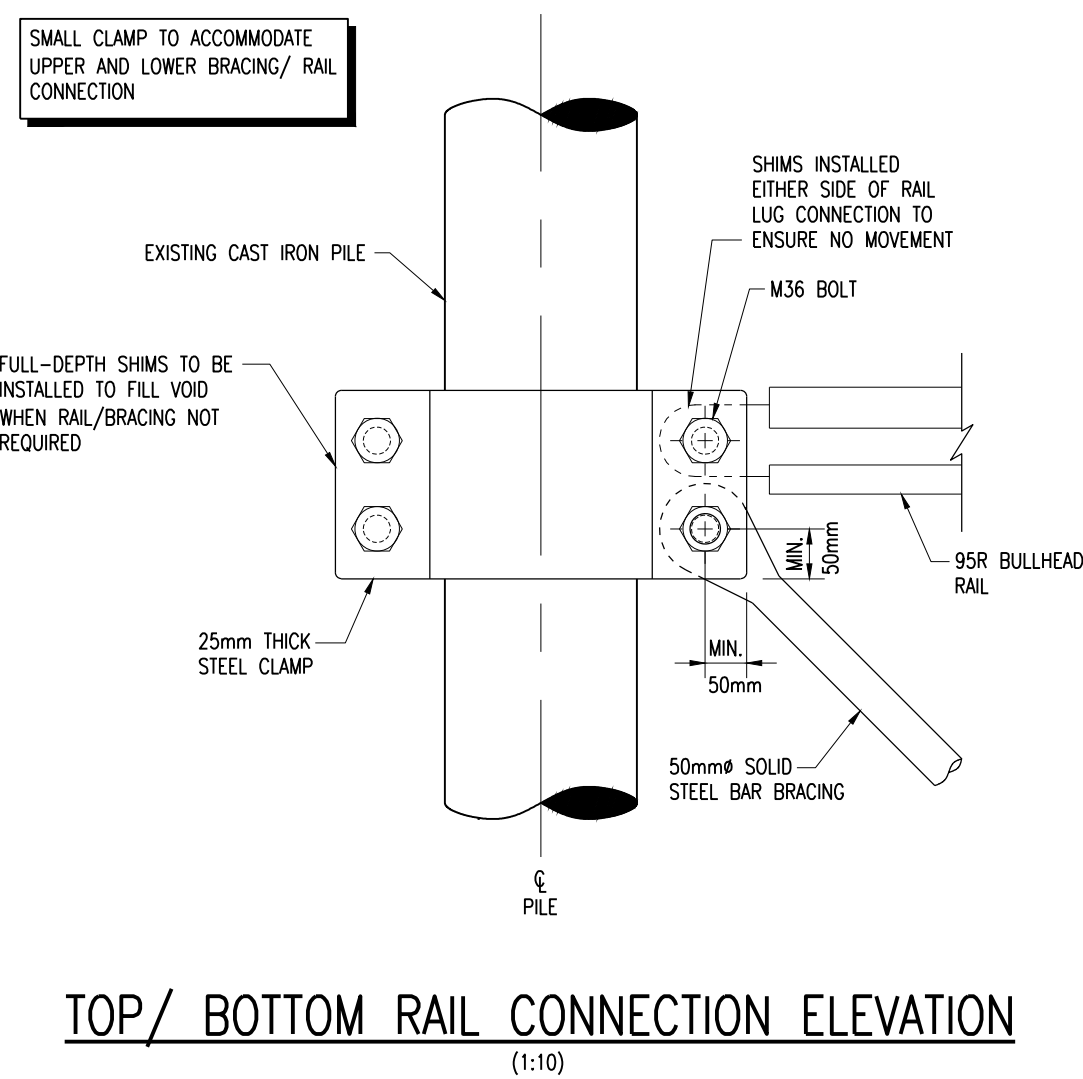
DIAGONAL BRACING (AT ANCHOR BAYS) (1:10)



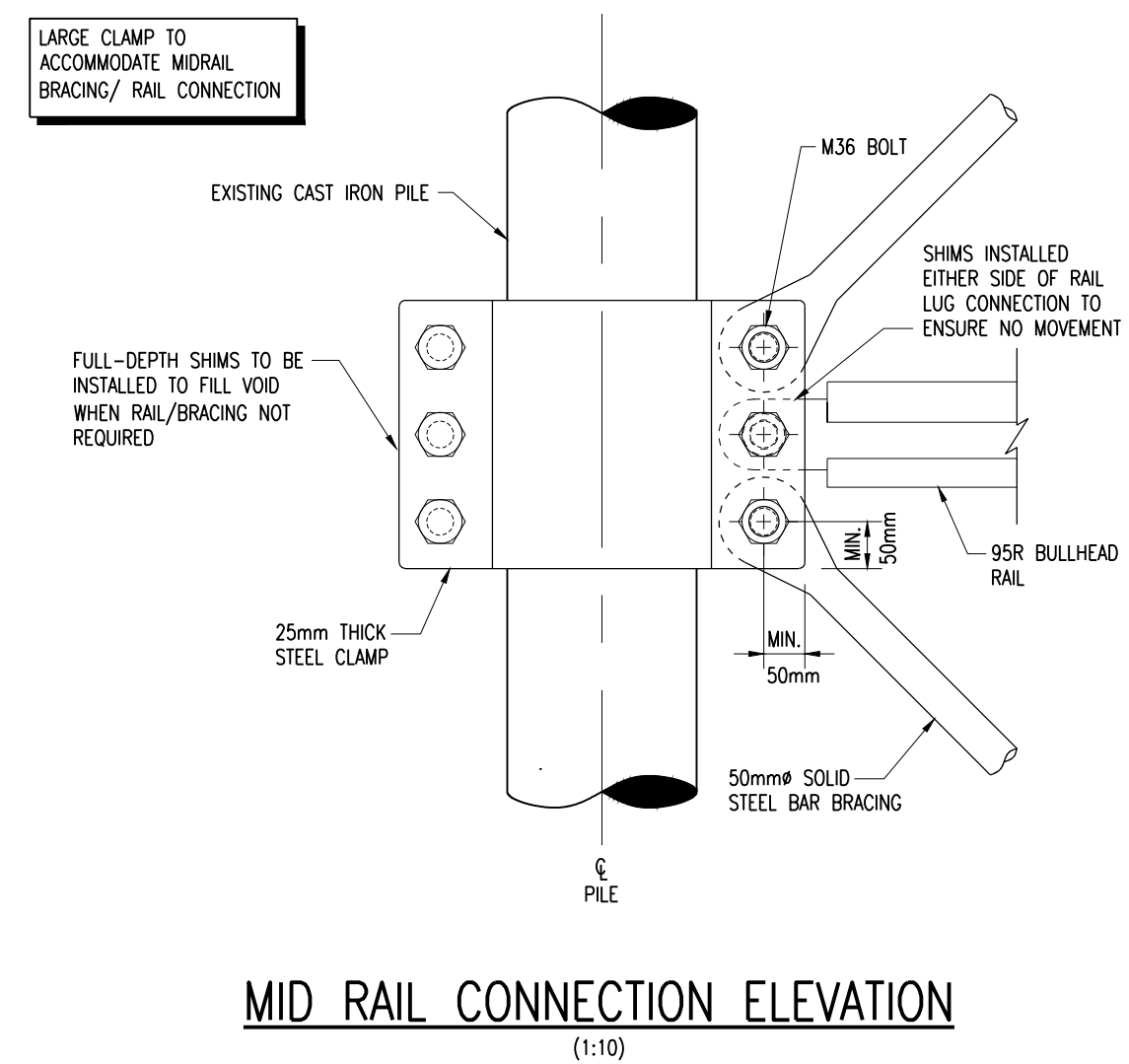
DIAGONAL BRACING (AT INTERMEDIATE BAYS) (1:10)



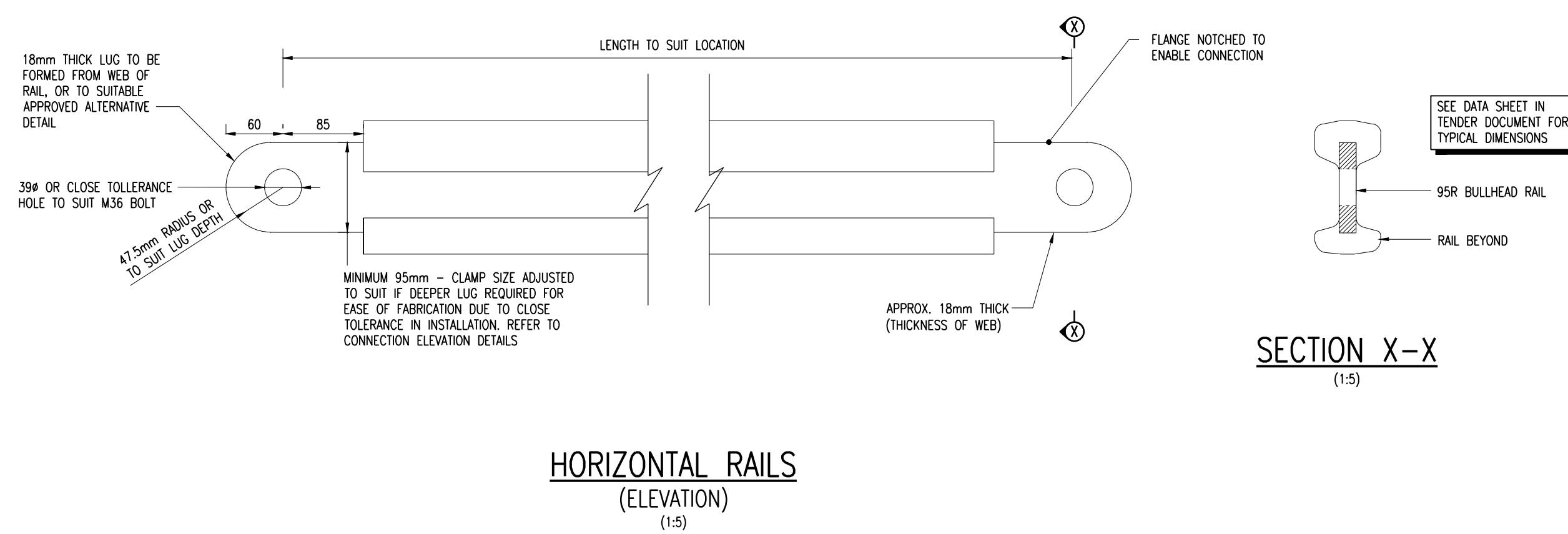
TYPICAL TENSION RING DETAIL (INSERT AT ALL CROSS BRACING BAYS) (1:10)



TOP/ BOTTOM RAIL CONNECTION ELEVATION (1:10)



MID RAIL CONNECTION ELEVATION (1:10)



HORIZONTAL RAILS (ELEVATION) (1:5)

SECTION X-X (1:5)

ISSUED FOR INFORMATION	L.S. N.C. 10.11.17	P2
ISSUED FOR INFORMATION	M.G. N.C. 30.10.17	P1
Description: By: April, Date: Rev:		

ISSUED FOR INFORMATION

RAIL AND BRACING REPLACEMENT DETAILS

Project: SOUTHEND PIER SUBSTRUCTURE REPAIRS LISTED BUILDING CONSENT 5 YEAR PLAN

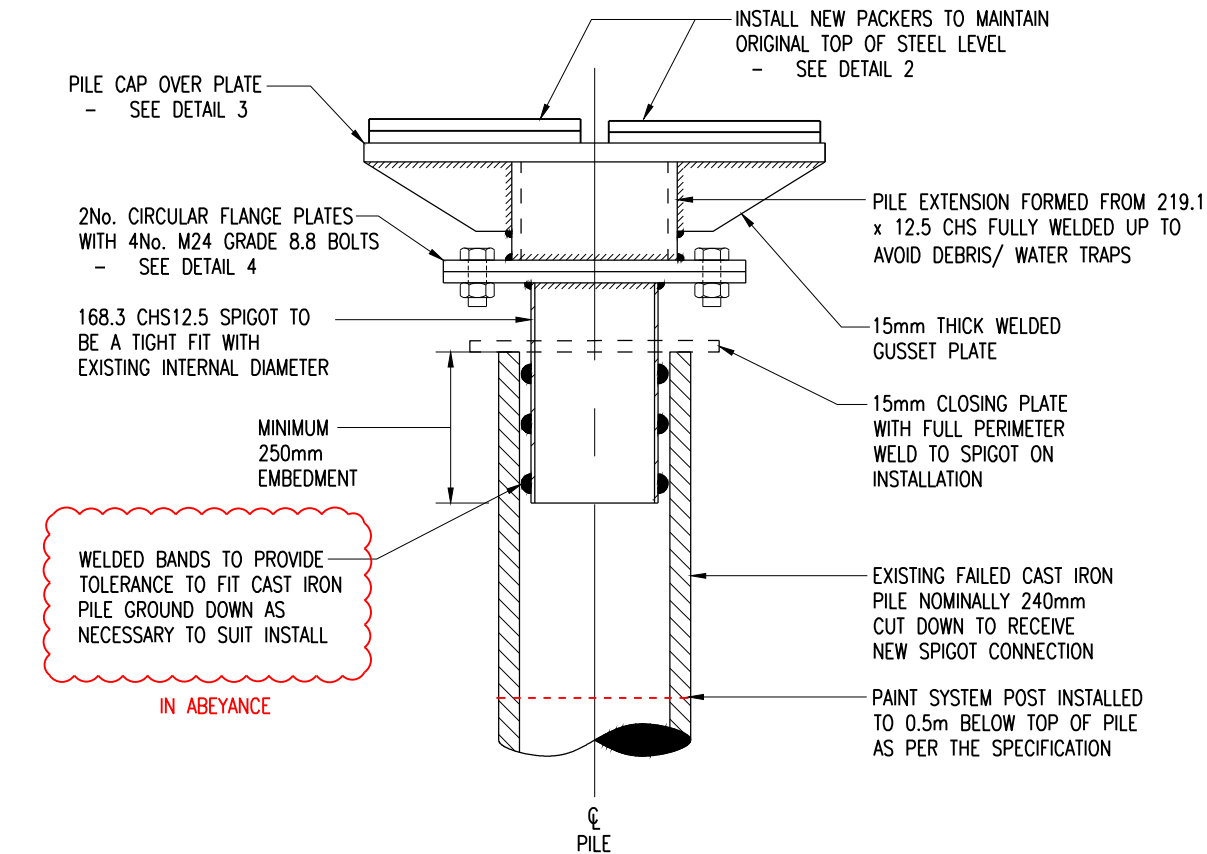
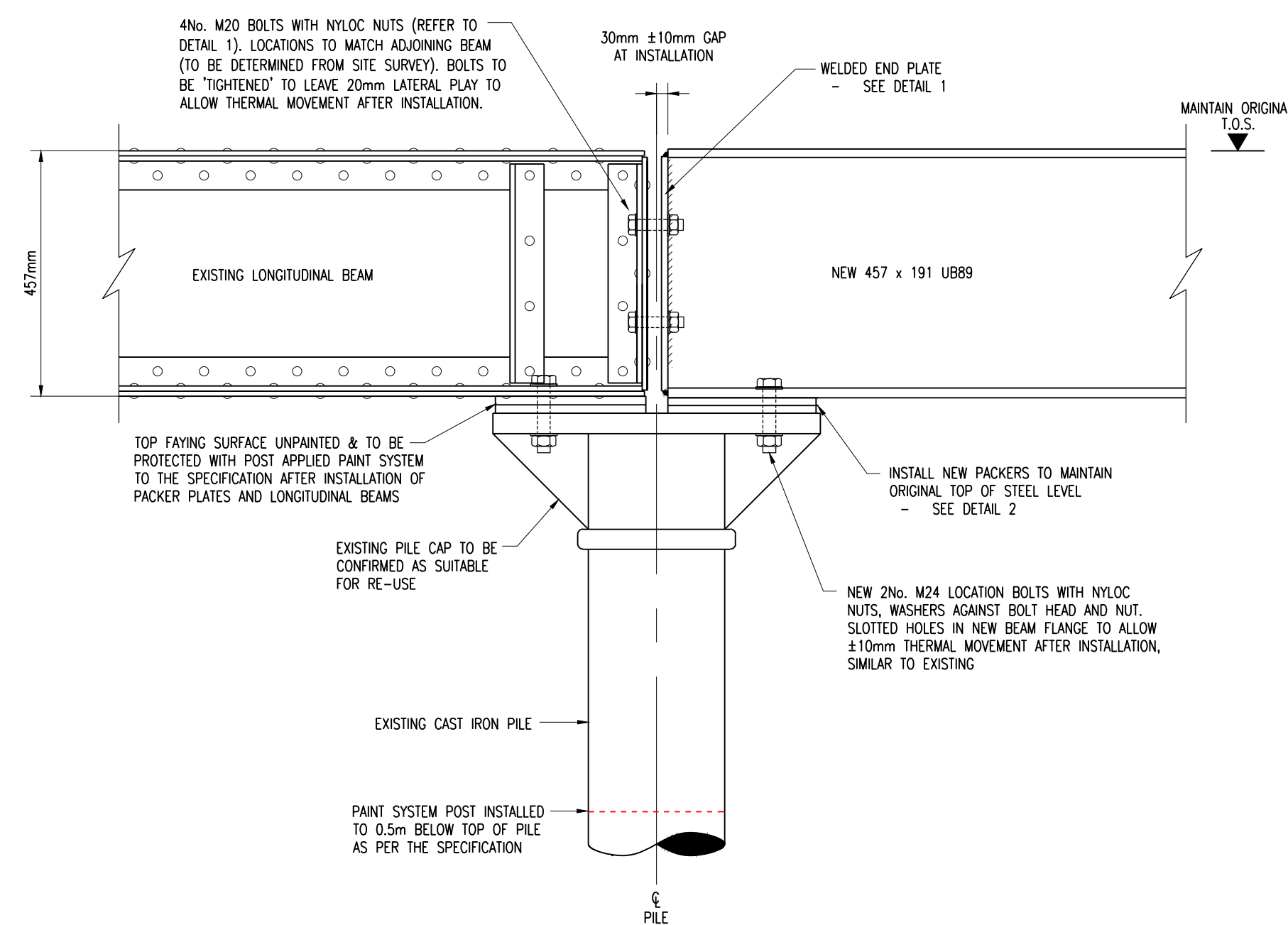
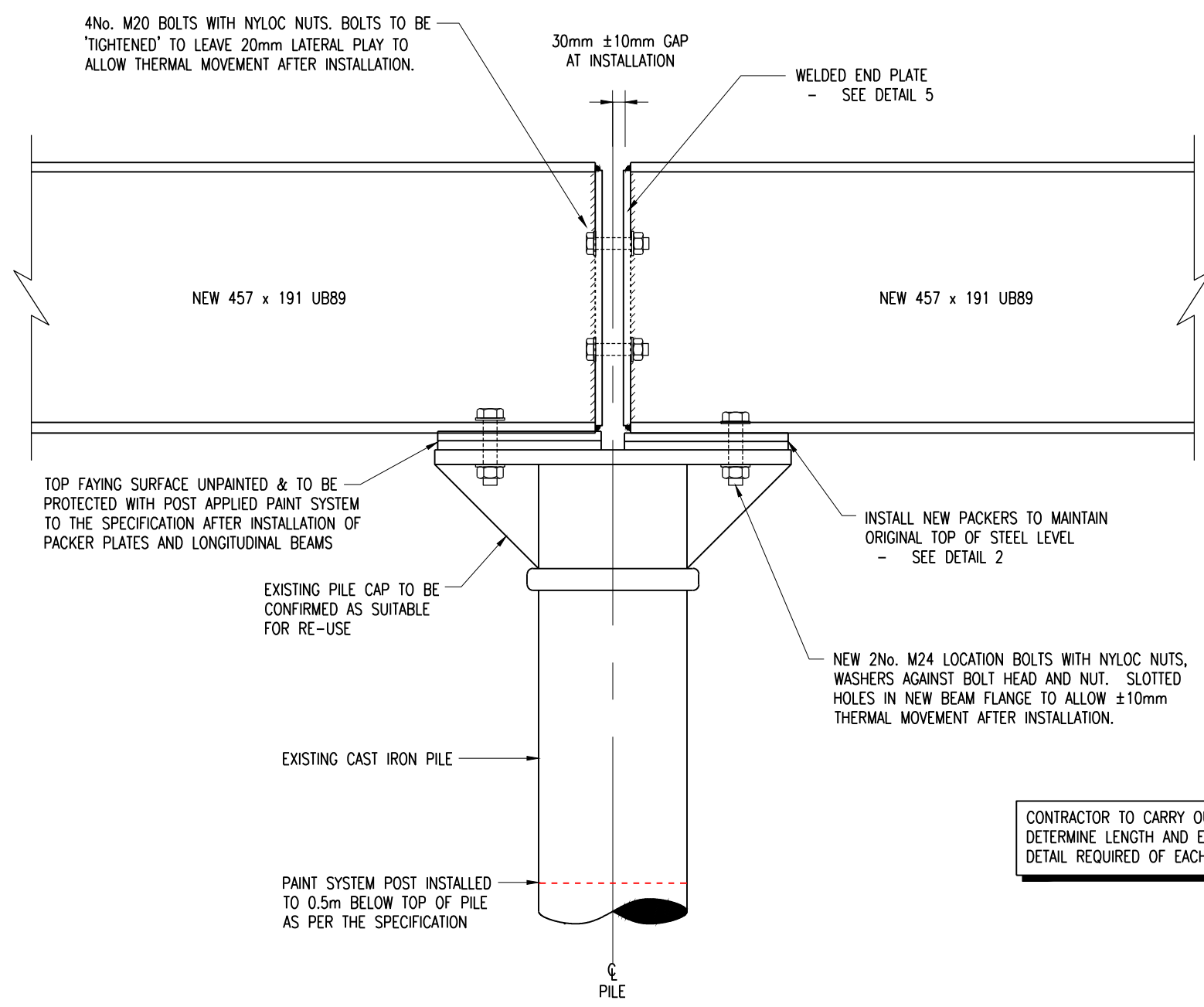
Client: SOUTHEND-ON-SEA BOROUGH COUNCIL

HOP CONSULTING CIVIL AND STRUCTURAL ENGINEERS

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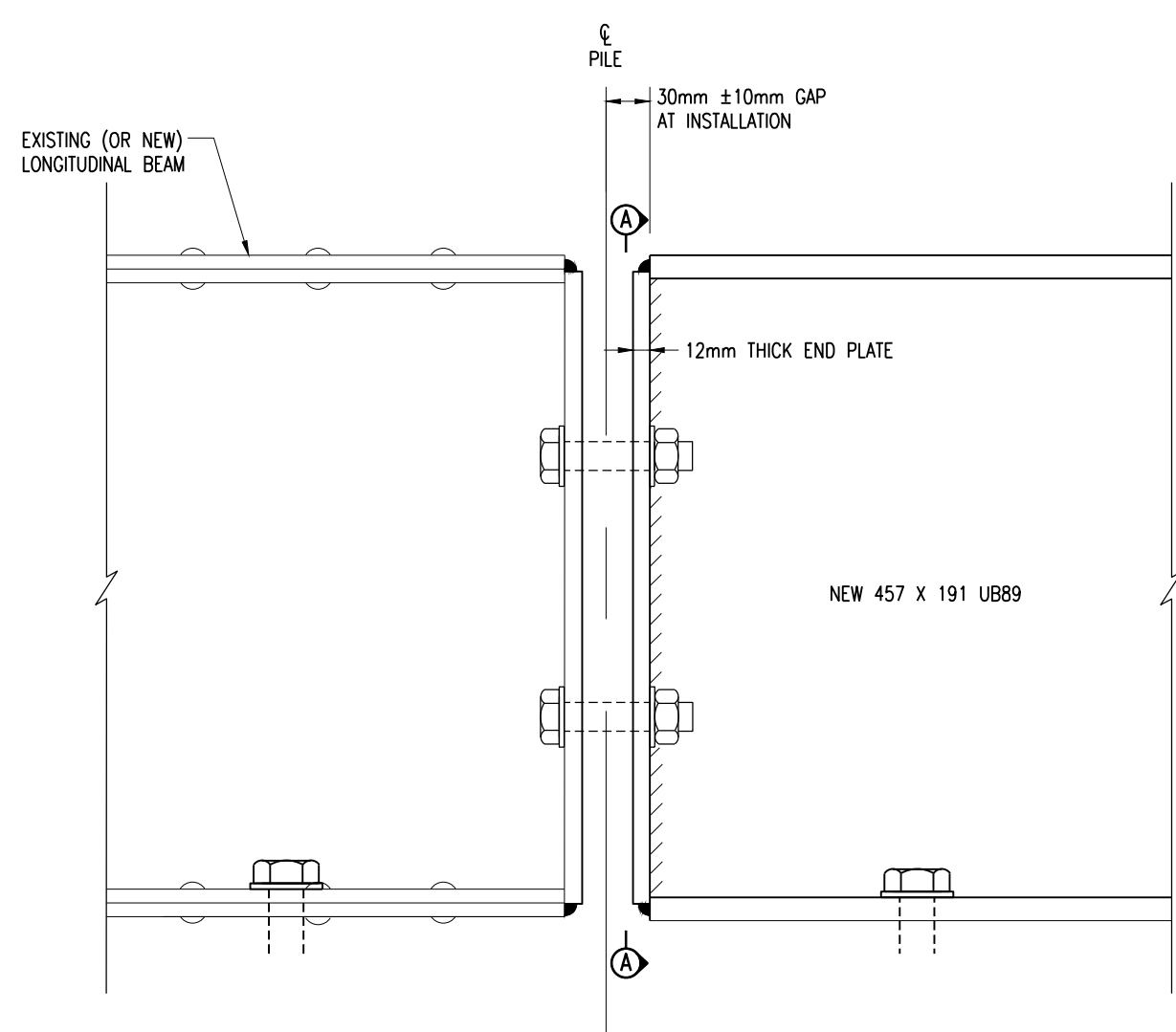
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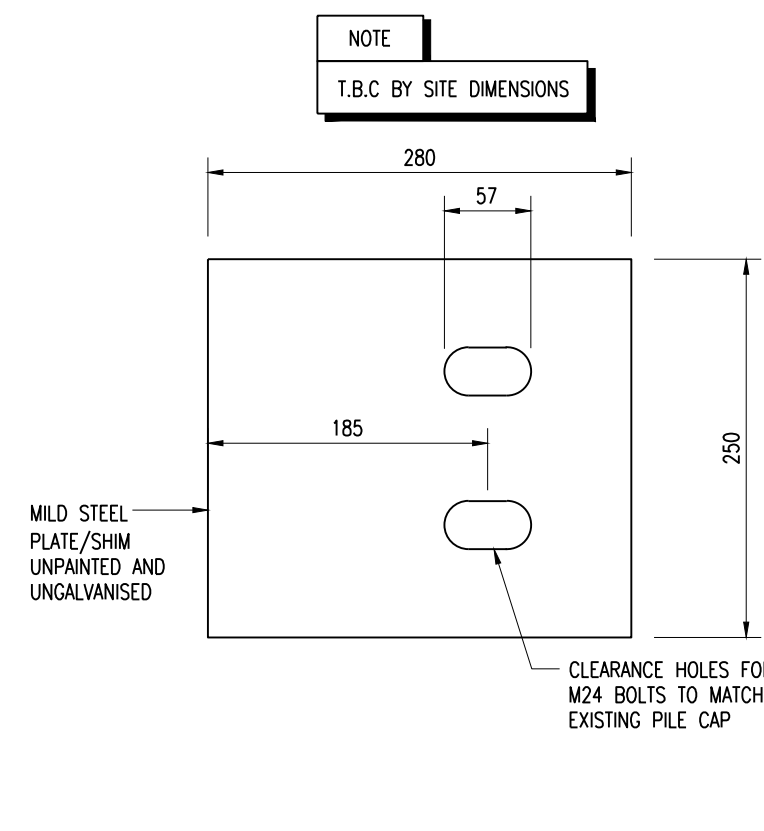
BEAM REPLACEMENT
(NEW BEAM TO NEW BEAM)
(1:10)

BEAM REPLACEMENT
(EXISTING BEAM TO NEW BEAM)
(1:10)

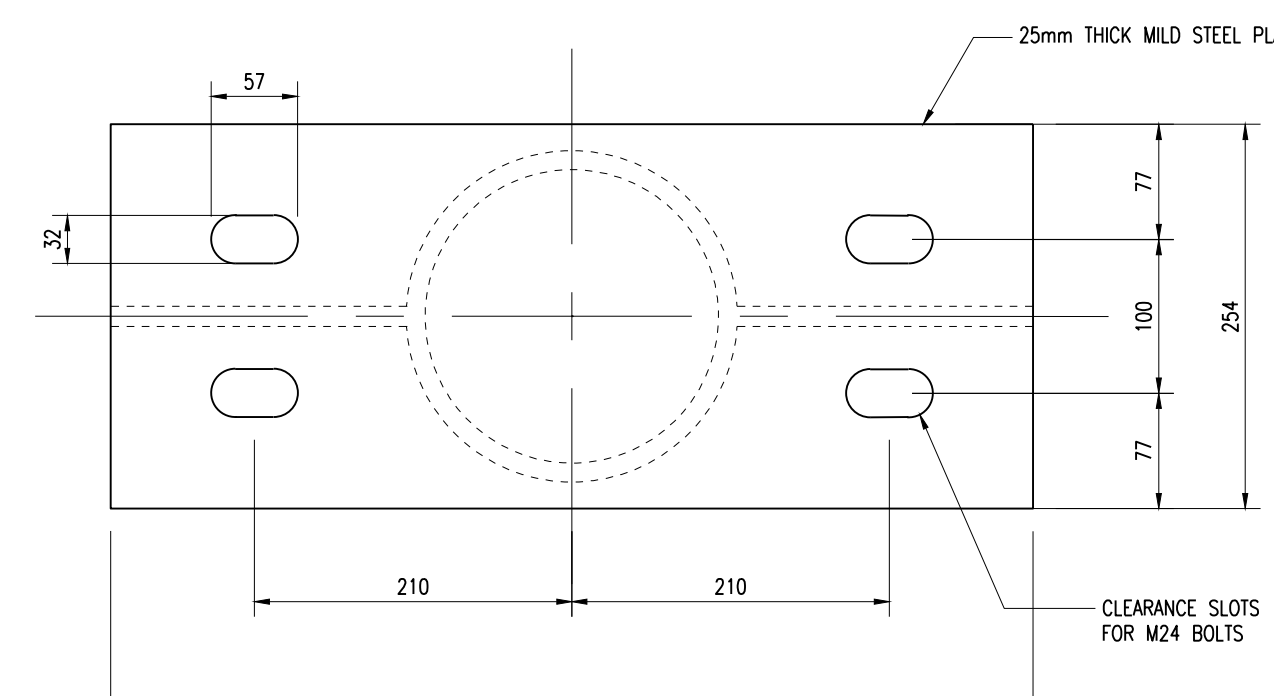
PROPOSED TYPICAL PILE CAP REPLACEMENT DETAIL
(1:10)



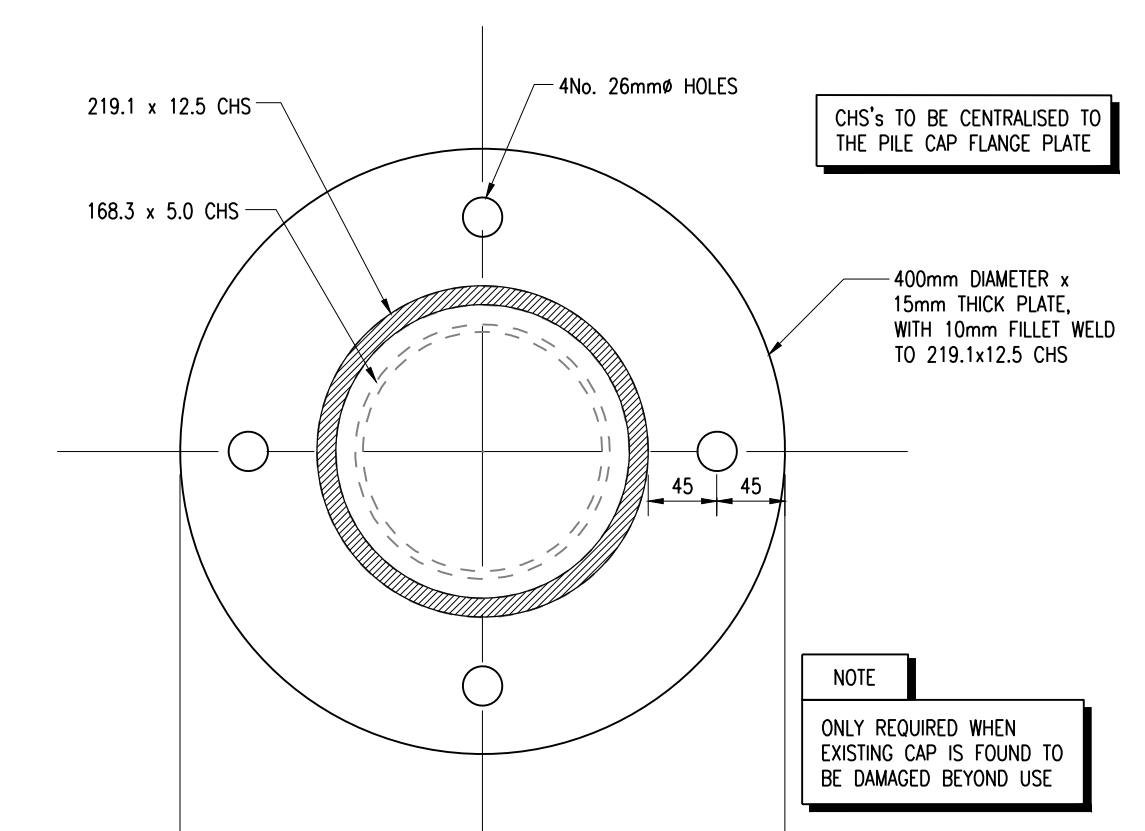
DETAIL 1
(END PLATE CONNECTION DETAILS)
(1:5)



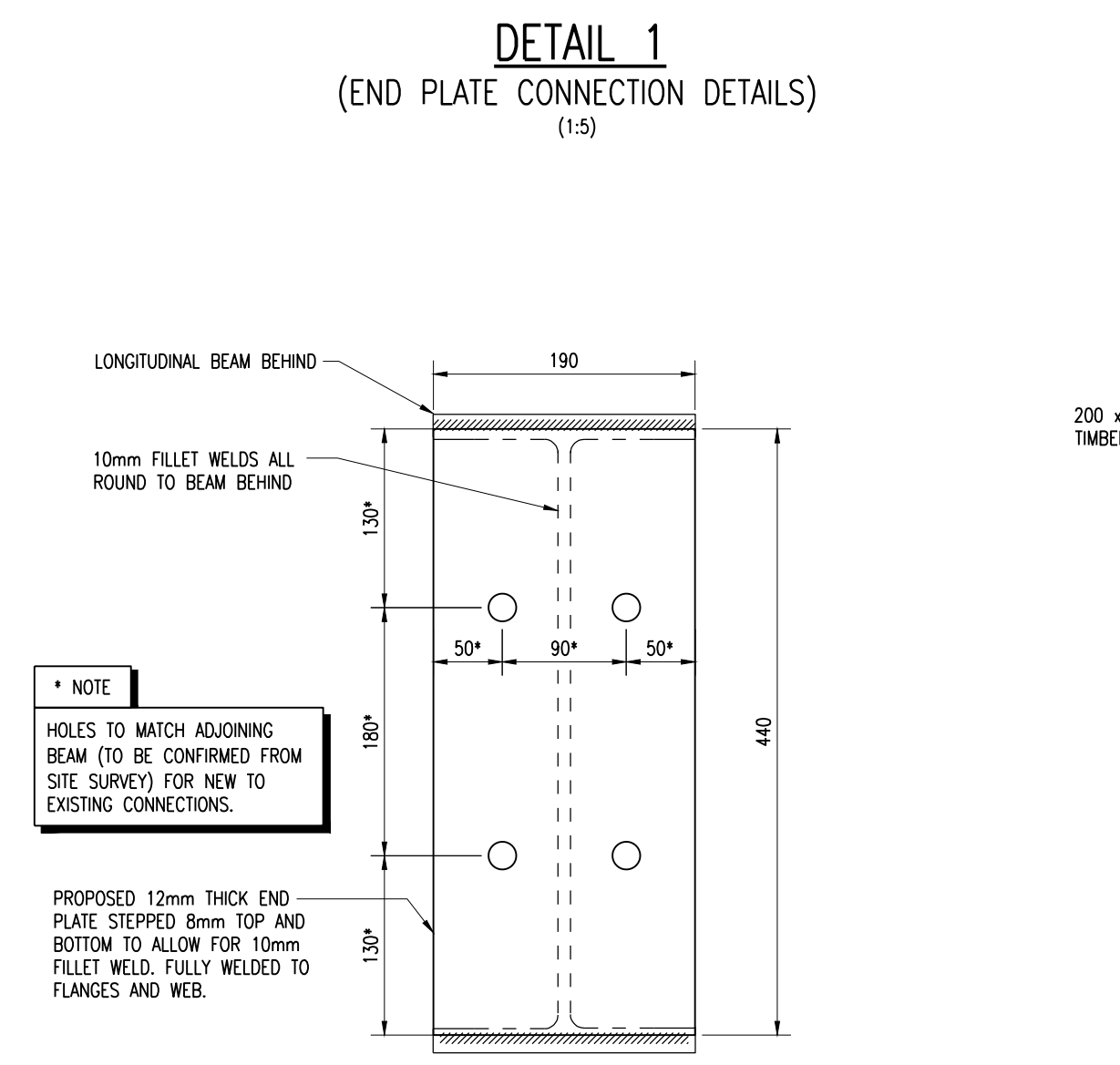
DETAIL 2
(NEW PACKER PLATES)
(1:5)



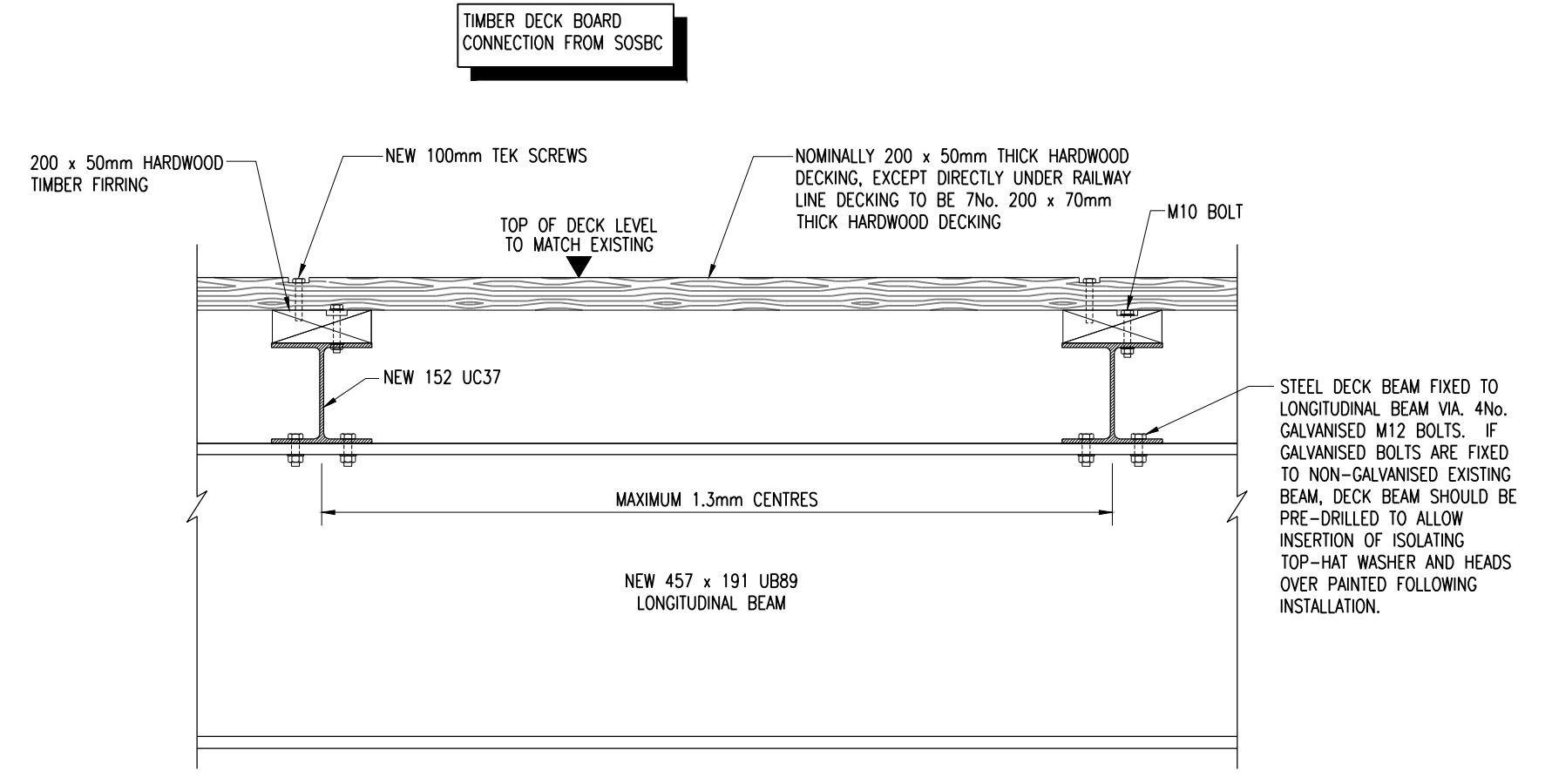
DETAIL 3
(NEW PILE CAP OVER-PLATE)
(1:5)



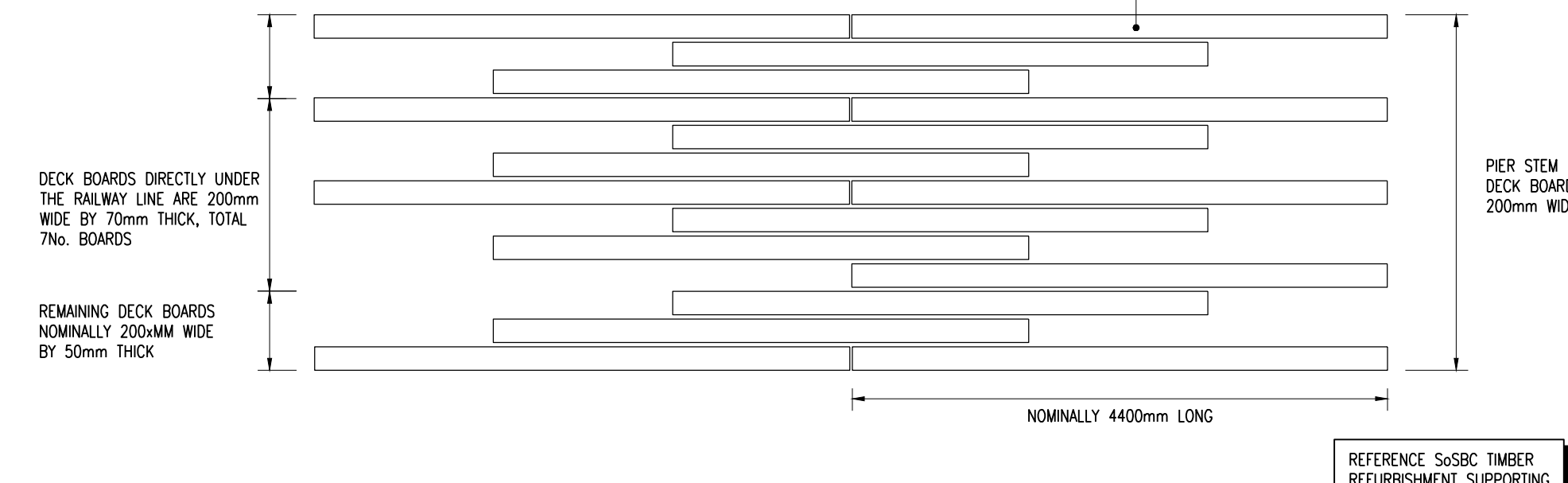
DETAIL 4
(NEW PILE CAP FLANGE-PLATE)
(1:5)



SECTION A-A
(PROPOSED NEW END PLATE DETAIL)
(1:5)



PROPOSED TYPICAL DECK BEAM REFURBISHMENT DETAIL
(1:10)



STAGGERING OF BOARDS
(1:50)

- GENERAL**
 - (i) This drawing is not to be scaled, work to figured dimensions only, confirmed on site.
 - (ii) This drawing is to be read in conjunction with all relevant architectural drawings, detailed specifications where applicable and all associated drawings in this series.
 - (iii) Any discrepancy on this drawing is to be reported immediately to the partnership for clarification.
 - (iv) The contractor is responsible for all temporary works and for the stability of the works in progress.
 - (v) All levels shown to ordnance datum unless otherwise stated. Lowest Astronomical Tide (LAT) of -2.90mOD is approximately equal to 'chart datum'.
 - (vi) Details are subject to change at the Engineers discretion.
 - (vii) All levels are approximate and should be confirmed on site.
 - (viii) Refer to drawings 12211-HOP-24-XX-DR-C-0003 for schedules and locations of members to be refurbished.
 - (ix) Details are subject to change at the Engineer's discretion.
- STEELWORK**
 - (i) All plates and flats to be grade S275J0, all hot rolled sections to be grade S355J0 unless otherwise noted. All to standards BS EN 10025-1:2004.
 - (ii) All structural steelwork shall comply with the latest addition of the 'National Structural Steelwork Specification For Building Construction'. All fabricated steelwork shall comply with BS EN 1090-1 (Execution Class EXC2).
 - (iii) All surface preparation work to steelwork to be in accordance with BS7079:2009. All steelwork to be blast cleaned to SA2.5 unless otherwise stated.
 - (iv) All bolts to be grade 8.8 and conform to BS EN 15048-1:2016 unless otherwise stated.
- CORROSION PROTECTION SYSTEM**
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 - (iv) Contractor to provide all manufacturers point specifications to the Engineer prior to fabrication.
- WELDING**
 - (i) Welding shall be in accordance with B.S EN 1011. All welds shall be visually inspected and a representative sample shall be tested by Magnetic Particle Inspection to BS-EN-ISO 17638:2016. All defects shall be removed and made good. Sample rates to be confirmed by Engineer (refer to contract documents).
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 - (iii) The contractor is responsible for cutting, fitting, welding connections and connecting new elements to existing adjacent elements.
- TEMPORARY SUPPORT**
 - (i) Temporary support to be designed and provided by the Contractor.
 - (ii) Public deck to remain open where safe to do so, loading details are provided in the tender document.

ISSUED FOR INFORMATION	LS N.C. 10.11.17	P2
ISSUED FOR INFORMATION	M.G. N.C. 30.10.17	P1
Description: By: Apprd. Date: Rev.		

ISSUED FOR INFORMATION

Title: **PILE CAPS, LONGITUDINAL BEAMS, AND DECK BEAMS REPLACEMENT DETAILS**

Project: **SOUTHEND PIER SUBSTRUCTURE REPAIRS LISTED BUILDING CONSENT 5 YEAR PLAN**

Client: **SOUTHEND-ON-SEA BOROUGH COUNCIL**

HOP CONSULTING CIVIL AND STRUCTURAL ENGINEERS
HOP House, 41 Church Road Hove, East Sussex BN3 2BE
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ask@hop.uk.com
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Reference:	17/01430/FUL	<h1>9</h1>
Ward:	West Leigh	
Proposal:	Erect three dwelling houses incorporating garages, layout parking to front and form vehicular accesses onto Underwood Square	
Address:	Haydon House, 10 Underwood Square, Leigh-on-Sea, Essex, SS9 3PB	
Applicant:	Intex Properties Limited	
Agent:	SKArchitects	
Consultation Expiry:	20.10.17	
Expiry Date:	13.11.17	
Case Officer:	Abbie Greenwood	
Plan Nos:	385P010, 385P011, 385P012, 385P013, 385P014, 385P015	
Recommendation:	REFUSE PLANNING PERMISSION	



1 The Proposal

1.1 Planning permission is sought to erect three dwellinghouses, each two storeys in height with roof accommodation, and from associated vehicular access onto Underwood Square. This is an amended scheme following an earlier refusal earlier in the year for 4 houses (ref 17/00234/FUL).

1.2 The dimensions of the each of the proposed dwellinghouses are as follows:

	Current proposal 17/1430/FUL	Refused proposal 17/00234/FUL
Width	10.7m	7.4m
Depth	14.1m at 2 storeys 17.2m in total	14.1m at 2 storeys 17.2m in total
Height	10.6m -10.3m depending on site levels	10.6m-10.9m depending on site level
Eaves	6m	6m
Bed spaces Internal floor space	6 bed plus study 299 sqm	5 bed 238 sqm
Dormers	1 per property 3.8m wide, 2.2m tall, 1.7m deep, triangular shape	2 per property 3.8m wide, 2.2m tall, 1.7m deep, triangular shape
Separation between properties	2.5m	1.8m-2.4m
Separation to the boundaries	North 1.5m-2m South 2.05m-2.1m West 18.7m	North 1m-1.6m South 2.7m West 18.7m
Parking	2 spaces plus small garage/store	2 spaces

1.3 In the current proposal each dwelling would have a lounge, living/kitchen/dining area and utility room and WC proposed to the ground floor, 4 bedrooms, 2 ensuite bathroom and family bathroom to first floor and two bedrooms with 2 ensuite bathrooms and a study at second floor meaning that each property could accommodate 12 people in 6 double rooms plus a study which could serve as an additional single bedroom.

1.4 Each dwelling would have two parking spaces to the front and a garage with internal measurements of 5.6m x 3m which is below the required standard and therefore this would be classed as a store only. The proposed amenity space to the rear of the dwellings ranges from 253sqm to 297sqm per house.

1.5 The proposed materials to be used in the construction of the dwellinghouses include black clay tiles to the roof and first floor side additions, white render and black burnt Larch cladding to the walls and aluminium windows.

- 1.6 The proposal follows a previous refusal for 4 dwelling houses on this site. This application (ref 17/00234/FUL) was refused for the following reasons:

01 The proposed development would, by reason of its design, bulk, mass, size and siting, result in an overbearing relationship with and an increased sense of visual enclosure and a loss of light, outlook at 11 Underwood square and 51 Lime Avenue, to the detriment of the residential amenities of the occupiers of these properties. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 and CP4 of the Southend-on-Sea Core Strategy (2007), Policies DM1 and DM3 of the Southend-on-Sea Development Management Document (2015); and the advice contained within the Southend-on-Sea Design and Townscape Guide (2009).

02 The proposal would, by reason of its design, size, bulk, mass, siting and layout represent a cramped form of development and an overdevelopment of the land, which is out of keeping with and detrimental to the character and appearance of the application site and the area more widely. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 and CP4 of the Southend-on-Sea Core Strategy (2007), Policies DM1 and DM3 of the Southend-on-Sea Development Management Document (2015); and the advice contained within the Southend-on-Sea Design and Townscape Guide (2009).

2 Site and Surroundings

- 2.1 Underwood Square is a purpose built urban square consisting of an informal green space surrounded and enclosed by detached and semi-detached houses. The houses are of different ages and designs and do not form a cohesive streetscene character. The character of the square is derived primarily from the arrangement of the houses around the open space and the presence of many mature trees, a number of which are preserved by Tree Preservation Orders including some on the application site.
- 2.2 The site was formerly occupied by a single detached house which has recently been demolished. The plot is of a significant size taking up nearly the whole of the west side of the square. There is one other property on the west side of the square to the north of the application site (number 11). This is a modest detached house of traditional design. The opposite side of the 'square' contains 5 modest houses which are arranged as 2 pairs of semi-detached houses and one detached property.
- 2.3 There are slight changes in levels north to south across the site. The surrounding area is residential mainly consisting of two storey houses, most of which are semi-detached. To the rear of the site is Belfairs School playing fields.

3 Planning Considerations

- 3.1 The main considerations in relation to this application are the principle of the development, design and impact on the streetscene, ecology, impact on preserved trees, traffic and transportation and impact on residential amenity, sustainable construction, the quality of accommodation for future occupiers and the schemes CIL liability.

4 Appraisal

Principle of Development

National Planning Policy Framework (2012); Core Strategy(2007) Policies KP1, KP2, CP4, CP8; Development Management (2015) policies DM1, DM3, DM5, DM7, and the Southend Design and Townscape Guide (2009).

- 4.1 This proposal is considered in the context of the Borough Council policies noted above and the National Planning Policy Framework (NPPF). The NPPF seeks to *“encourage the effective use of land by reusing land that has been previously developed (brownfield land), provided that it is not of high environmental value.”* The NPPF also states in paragraph 56 that *“the Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”* and paragraph 64 of the NPPF states; *“permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.”*
- 4.2 Part 2 of Policy KP2 of the Core Strategy states development must be achieved in ways which *“make the best use of previously developed land, ensuring that sites and buildings are put to best use”*. Part 2 of Policy CP4 requires that new development *“maximise the use of previously developed land, whilst recognising potential biodiversity value and promoting good, well-designed, quality mixed use developments”* and in part 5 states that this should be achieved by *“maintaining and enhancing the amenities, appeal and character of residential areas, securing good relationships with existing development, and respecting the scale and nature of that development”*.
- 4.3 Policy CP8 of the Core Strategy recognises that a significant amount of additional housing will be achieved by intensification (making more effective use of land) and requires that development proposals contribute to local housing needs. It identifies that 80% of residential development shall be provided on previously developed land.
- 4.4 Policy DM3 of the Development Management Document states that *“the Council will seek to support development that is well designed and that seeks to optimise the use of land in a sustainable manner that responds positively to local context and does not lead to over-intensification, which would result in undue stress on local services, and infrastructure, including transport capacity”*

- 4.5 Policy DM7 of the Development Management Document requires new housing development to meet the needs of the Borough in terms of the type and size of development proposed. The application is seeking to provide three large family houses. This is considered to be an acceptable dwelling mix.
- 4.6 As part of its Strategic Housing Land Availability Assessment (SHLAA) update, the Council has published information on its potential housing supply (5 year supply of housing plus an additional 5% buffer as required by the NPPF). This demonstrates that the Council has a 6 year housing land supply against its adopted targets and therefore, meets the requirements of the NPPF in terms of housing delivery.
- 4.7 The site is in a residential area comprises of mainly family housing. There is therefore no objection in principle to houses on this site. The site previously accommodated a single 4 bedroom detached dwellinghouse. 3 six bedroom houses are now proposed. Whilst the authority is able to meet its housing needs targets without recourse to allowing development which would otherwise be unacceptable, the principle of providing a more intensive use and the erection of 3 new replacement dwellings at the site is considered to be reasonable, subject to the detailed considerations set out below.

Design and Impact on the Streetscene

National Planning Policy Framework (2012); Core Strategy (2007) Policies KP2 and CP4; Development Management Document (2012) policies DM1 and DM3 and the Southend Design and Townscape Guide (2009).

- 4.8 Policy DM1 of the Development Management Document states that *“all development should add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features.”*
- 4.9 Part 2 of Policy DM3 of the Development Management Document states that *“all development on land that constitutes backland and infill development will be considered on a site-by-site basis. Development within these locations will be resisted where the proposals:*
- (i) Create a detrimental impact upon the living conditions and amenity of existing and future residents or neighbouring residents; or*
 - (ii) Conflict with the character and grain of the local area; or*
 - (iii) Result in unusable garden space for the existing and proposed dwellings in line with Policy DM8; or*
 - (iv) Result in the loss of local ecological assets including wildlife habitats and significant or protected trees.”*
- 4.10 The application site is a sizeable plot on the west side of Underwood Square. The west side of Underwood Square previously contained two, detached, two storey properties, although the property on the application site has now been demolished. The opposite side of the square contains 5 modestly scaled 2 storey dwellings arranged as two semi-detached pairs and one detached property.

It is therefore acknowledged that there is scope for more than 1 dwelling on this site provided that it respects the scale and grain of the area.

- 4.11 The recently refused application (ref 17/00234/FUL) was for 4 detached houses on this site. These were 2 tall storeys with roof accommodation (10.6-10.9m in height) which is taller than the surrounding properties. The houses were located close to the boundaries of the site (1m from northern boundary, 2.7m from southern boundary) and close together (1.8m – 2.4m separation) resulting in a significant change in density and scale. This proposal was refused for 2 reasons one of which, reason 02, related to design and character. This reason, noted in section 1 above, considered that the design, size, bulk, mass, siting and layout of the proposal represented a cramped form of development and an overdevelopment of the land such that it was out of keeping with the area. To address this reason for refusal the proposal would need to demonstrate that the amended design is in keeping with the grain, scale and character of the area.
- 4.12 The application has been amended from 4 to 3 houses, although the proposed houses have changed significantly in terms of their scale and bulk. Whilst they are approximately the same height as previously proposed houses, an additional wing section has added to the side of each property such that they are now much wider and bulkier than the originally refused design. As a result the width of the properties has been increased from 7.4m to 10.7m, an increase of nearly 45% on the original proposal. This means that the spacing of the properties remains virtually the same as the refused scheme, at around 2.4m -2.5m. It is also noted that the distance to the northern boundary has been slightly increased from 1m to 1.5m but the distance to the southern boundary has been reduced from 2.7m to 2.05m.
- 4.13 Overall therefore, whilst it is considered that 3 detached houses could, in principle, sit more comfortably on this site than the 4 link detached houses previously proposed, because of the significant increase in the scale and bulk of the properties, it is found that the proposal has not demonstrated that the development would result in a less cramped appearance than the previously refused scheme. Indeed whilst the height of the houses was previously mitigated by their slender proportion, the increase in width of the current scheme has resulted in a significant increase in mass of the houses such that they are now much larger and bulkier than the surrounding development. It is noted that the side addition is set back around 3m from the main front gable. However, it is usual for gable features to project forward and it is considered that this would not significantly offset the mass of the properties in relation to their neighbours. This concern is evident on the proposed site plan which shows a clear difference in the scale of the footprint of the proposed houses to the surrounding properties. It is therefore considered that the current application has not satisfactorily addressed the reason for refusal 02 in relation to the design, size, bulk, mass, siting and layout. It is still considered that the proposal would represent a cramped form of development, be out of character with the grain and scale of the area, constitute an overdevelopment of the land and therefore be out of keeping with and detrimental to the character and appearance of the area.

- 4.14 In relation to the detailed design it is noted that the gabled section of the amended houses is based on the design of the refused scheme which includes a tall steep gable roof that kicks out at the eaves to create an Arts and Crafts style profile and includes other Arts and Crafts features such as tall fluted feature chimneys and natural dark timber boarding. The amended design now also includes a substantial mansard roof section to the side of each property to contain an integral garage/store and additional first floor bedrooms. It is also noted that at ground floor the design has maintained a modern frameless glass bay set below an overhanging first floor. This element has now been amended to wrap around one side of the projection adjacent to the extended section of each property.
- 4.15 Overall, whilst there is no objection in principle to an Arts and Crafts style which references the history of the site and the previously demolished property, there is a concern that the proposal now seems to be made up of 3 different styles/approaches and has resulted in rather a disjointed design which lacks cohesion and context. In particular it is considered that the mansard form of the side addition conflicts with the roof form of the main part of the property and the streetscene more generally. Therefore, in addition to the concern noted above in relation to scale and grain, there is also a concern raised in relation to the detailed design and form of the houses. As noted above the proposed roof material is black clay tile. This is not characteristic of the area and there is a concern that this material, together with the proposed black burnt larch cladding proposed for the main gable, will further highlight the scale and bulk and incongruous nature of the houses in the streetscene.
- 4.16 It is therefore considered that the amended design, form and layout of the scheme has not overcome the previous reason for refusal relating to design, size, bulk, massing, siting and layout representing a cramped appearance and an over development of the site. Indeed it is considered that the amended proposal would be even more dominant in relation to the surrounding houses and wider streetscene as well as unresolved in its detailed design. It is suggested that 3, well-spaced dwellings of a more modest scale and a more cohesive design would be more appropriate for this site. The design of the proposal is therefore unacceptable and contrary to the NPPF, policies KP2 and CP4 of the Core Strategy DPD1, policies DM1 and DM3 of the Development Management Document DPD2 and the Design and Townscape Guide.

Standard of Accommodation for Future Occupiers

National Planning Policy Framework (2012), Core Strategy (2007) Policies KP2 and CP4; Development Management Document (2015) policies DM1, DM3, DM8, The National Technical Housing Standards DCLG and Design and Townscape Guide (SPD1)

- 4.17 Paragraph 17 of the NPPF states that *“planning should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings”*.

- 4.18 Part 2 of policy DM3 of the Development Management Document (i) states: proposals should be resisted where they “*Create a detrimental impact upon the living conditions and amenity of existing and future residents or neighbouring residents*”.
- 4.19 In order to ensure that the living standards for future occupiers are acceptable all new housing is required to meet the Governments National Technical Housing Standards. These require that:
- Minimum property size for a six bedroom (8 person bed space) 134sqm – there is no standard for a 6 bed 12 person house, however 12 person households are unusual and it is assumed that not all double bedrooms would be occupied by 2 persons.
 - Bedroom Sizes: The minimum floor area for bedrooms to be no less than 7.5m² for a single bedroom with a minimum width of 2.15m²; and 11.5m² for a double/twin bedroom with a minimum width of 2.75m or 2.55m in the case of a second double/twin bedroom.
 - Floorspace with a head height of less than 1.5 metres should not be counted in the above calculations unless it is solely used for storage in which case 50% of that floorspace shall be counted.
 - A minimum ceiling height of 2.3 metres shall be provided for at least 75% of the Gross Internal Area.

Weight should also be given to the content of policy DM8 which states the following standards in addition to the national standards.

- Internal Storage: Provision of a storage cupboard with a minimum floor area of 1.25m² should be provided for 1-2 person dwellings. A minimum of 0.5m² storage area should be provided for each additional bed space.
 - Amenity: Suitable space should be provided for a washing machine and for drying clothes, as well as private outdoor amenity, where feasible and appropriate to the scheme.
 - Cycle Storage: Suitable, safe cycle storage with convenient access to the street frontage.
 - Refuse Facilities: Non-recyclable waste storage facilities should be provided in new residential development in accordance with the Councils Waste Management Guide. Suitable space should be provided for and recycling bins within the home.
 - Working: Provide suitable space which provides occupiers with the opportunity to work from home. This space must be able to accommodate a desk and filing/storage cupboards.
- 4.20 The dimensions of the proposed residential units are set out above. They comply with the abovementioned standards. Furthermore, the bedrooms are also generous and meet required space standards. All habitable rooms would benefit from outlook and daylight. There is some concern in relation to the siting of the southernmost dwelling nearest to the boundary abutting 51 Lime Avenue given the proximity of large trees to the side and rear elevations which could result in significant shading to the proposed dwelling. This is another indication that the development is too cramped on the site and has not adequately addressed the constraints of the site.

- 4.21 The amenity space provision for the four dwellings consists of rear gardens ranging from 253sqm to 297sqm, in size. This is considered to be reasonable to serve the dwellings proposed.
- 4.22 Policy DM8 states that developments should meet the Lifetime Homes Standards unless it can be clearly demonstrated that it is not viable and feasible to do so. Lifetime Homes Standards have been dissolved, but their content has been incorporated into Part M of the Building Regulations and it is considered that these standards should now provide the basis for the determination of this application. If this proposal was to be recommended for approval a condition would be imposed to ensure that the development meets the requirements of Building Regulations standard M4(2).

Traffic and Transportation

National Planning Policy Framework; DPD1 (Core Strategy) policies KP2, CP4, CP3; policy DM15 of the DPD2 (Development Management Document) and the Design and Townscape Guide SPD1.

- 4.23 Policy DM15 states that each dwelling should be served by at least two parking spaces. The proposed parking arrangement will include the formation of three vehicle crossovers (4.8m wide) and six parking spaces (two per dwelling), which is therefore policy compliant. It is noted that the houses now also have integral garages, however, as noted above these are only 5.6m x 3m so would not meet the DM standards for new garages so cannot be counted as a viable parking space. However, as these are not needed to meet the policy requirement the scheme remains acceptable on parking grounds.
- 4.24 The formation of additional crossovers will result in the loss of some on street parking however no objections have been raised by the Councils Highway Officer in relation to the parking provision and vehicle crossovers. Therefore taking into account the benefits of new housing in this location, no objection is raised.
- 4.25 It is also noted that the proposed development would result in increased traffic movements in the area. However the increase would be low and is not considered harmful to the highway network. The existing road will remain unchanged and the development would not impact upon access for emergency vehicles or refuse lorries to a degree that would justify a refusal of planning permission

Impact on Residential Amenity

National Planning Policy Framework, Core Strategy Policies KP2 and CP4, Development Management Document DPD2 policies DM1, DM3 and the Design and Townscape Guide (SPD1)

- 4.26 Policies DM1 and DM3 of the Development Management Document and policy CP4 of the Core Strategy refer to the impact of development on surrounding occupiers. High quality development, by definition, should provide a positive living environment for its occupiers whilst not having an adverse impact on the amenity of neighbours. Protection and enhancement of amenity is essential to maintaining people's quality of life and ensuring the successful integration of proposed development into existing neighbourhoods.

Amenity refers to well-being and takes account of factors such as privacy, overlooking, outlook, noise and disturbance, the sense of enclosure, pollution and daylight and sunlight. Policy DM1 of the Development Management requires that all development should “*Protect the amenity of the site, immediate neighbours, and surrounding area, having regard to privacy, overlooking, outlook, noise and disturbance, visual enclosure, pollution, and daylight and sunlight.*”

- 4.27 The previously refused application for 4 houses (ref 17/00234/FUL) was refused because of the impact of the proposal on the amenities of both adjacent neighbours. Reason 01 of the decision notice states:

01 The proposed development would, by reason of its design, bulk, mass, size and siting, result in an overbearing relationship with and an increased sense of visual enclosure and a loss of light, outlook at 11 Underwood square and 51 Lime Avenue, to the detriment of the residential amenities of the occupiers of these properties. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 and CP4 of the Southend-on-Sea Core Strategy (2007), Policies DM1 and DM3 of the Southend-on-Sea Development Management Document (2015); and the advice contained within the Southend-on-Sea Design and Townscape Guide (2009).

- 4.28 The northern most house of the previously refused scheme was set 1m-1.5m from the side boundary of number 11 Underwood Square. The proposed dwelling did not project in front of no. 11 Underwood Square, but projected beyond the rear wall of no. 11 by 7.9m in total, with 3.6m at two storeys and the remainder 3.5m at single storeys. It is noted there are a number of windows to the side elevation that serve bedrooms and living areas to the ground floor. However all windows are secondary and primary windows are to the east and west of number 11 Underwood Square.
- 4.29 The amended proposal has increased the separation distance to this boundary by 0.5m so the northernmost house is now set between 1.6m and 2m off the boundary. Number 11 is set 2.2m off this boundary making the total separation distance between 3.8m- 4.2m. It is also noted that there are no windows proposed on the northern flank of the proposal. The amended proposal is the same overall depth as the previously refused scheme, however, it is noted that the side elevation facing this neighbour is the shorter wing which has the same rear building line but is set back 3m from the front of the building and has a slightly lower roof on this side (a reduction of 1.4m). This will noticeably reduce the sense of enclosure on the neighbour towards the front of the property and the reduced scale of the roof on this side will reduce the sense of enclosure and shadowing to the rear albeit to a lesser extent.
- 4.30 The proposed dwelling is located to the south of number 11 in a similar location to the previous garage. The applicant has provided shadow drawing ref 385-08-16 385P015 in relation to this impact, however, it is noted that the previous large garage on this site was located very close to this boundary so itself would have contributed to the enclosure and shadowing of the neighbour. It is also noted that the proposed first floor development will not breach a 45 degree taken from the ground floor window of number 11 Underwood Square.

It is therefore considered that, on balance, the amended proposal has sufficiently reduced the impact on this neighbour to address the concerns raised in reason for refusal 01 and as such the proposal would not have an unreasonable impact on the amenities of this neighbour.

- 4.31 In relation to the impact on existing occupiers at 51 Lime Avenue, (to the south), the new dwelling nearest the southern boundary of the previously refused scheme was set 2.7m away from the boundary with number 51 Lime Avenue. The dwelling would project 14.3m to the rear of 51 Lime Avenue.
- 4.32 The amended proposal has reduced the distance to this boundary by 0.65m from 2.7m to 2.05m. It is noted that roof shape against this neighbour is such that it would be shorter than the previous scheme as the side projection is set 3m back from the front building line and the scale of the roof is reduced. No windows are proposed in the flank elevation facing this neighbour.
- 4.33 Taking into account the separation distance and given the proposed dwelling is to the north of the boundary of number 51 it is considered that the proposed built form would cause an unacceptable loss of outlook and result in a unacceptable sense of enclosure to the detriment of the existing amenities enjoyed by occupiers at number 51 Lime Avenue. The development would not result in any increased overlooking or loss of privacy or light for this neighbour.
- 4.34 To the west, the existing site backs onto playing fields associated with Belfairs High School and to the east is Underwood Square, which is an open space therefore not resulting in harm to residential occupiers.
- 4.35 In relation to noise and disturbance, it is not considered the increased activity associated with the proposed development will have an adverse impact on residential amenity taking into account the residential nature of the proposal. To ensure the amenities of residential occupiers surrounding the site are safeguarded during construction a condition will be imposed in relation to construction hours.
- 4.36 Overall therefore it is considered that the amended proposal has, on balance, not done enough to address the concerns previously raised in regard to the impact of the development on the neighbours to the south of the site.

Sustainable Construction

National Planning Policy Framework; DPD1 (Core Strategy) policy: KP2 DPD2 (Development Management) policies DM1 and DM2, and the Design and Townscape Guide SPD1.

- 4.37 Policy KP2 of the Core Strategy states that *“All development proposals should demonstrate how they will maximise the use of renewable and recycled energy, water and other resources. This applies during both construction and the subsequent operation of the development. At least 10% of the energy needs of new development should come from on-site renewable options (and/or decentralised renewable or low carbon energy sources), such as those set out in SPD 1 Design and Townscape Guide”*.

- 4.38 The provision of renewable energy resources should be considered at the earliest opportunity to ensure an intrinsic design. In this instance no comment has been made in relation to this requirement and no details are shown on the plans however, for a scheme of this size it is considered that details would be sought through the conditions recommended if this application is deemed acceptable.
- 4.39 The site is located in flood risk zone 1 (low risk). Policy KP2 of the Core Strategy states all development proposals should demonstrate how they incorporate sustainable drainage systems (SUDS) to mitigate the increase in surface water runoff, and, where relevant, how they will avoid or mitigate tidal or fluvial flood risk. A condition could be imposed to ensure the proposed development mitigates against surface water runoff.
- 4.40 Policy DM2 of the Development Management Document part (iv) requires water efficient design measures that limit internal water consumption to 105 litres per person per day (lpd) (110 lpd when including external water consumption). Such measures will include the use of water efficient fittings, appliances and water recycling systems such as grey water and rainwater harvesting. Whilst details have not been submitted for consideration at this time, this could be dealt with by conditions recommended if the application is deemed acceptable.

Other Matters

Landscaping & Trees

- 4.41 The mature oak trees along the western boundary of the site are protected by a tree preservation order ref TPO 4/72. There are also some semi mature oaks within the garden of 51 Lime Avenue close to the southern boundary of the site and some significant street trees close to the site the closest being on the pavement adjacent to the south east corner of the site. As noted above the large trees in this area are a key feature and important to local character.
- 4.42 An Arboricultural Statement has been submitted with this application. This shows that the southernmost property is located within the root protection area of the two semi mature oak trees in the garden of 51 Lime Avenue. The statement comments that the driveway area closest to these trees and the adjacent street tree will be constructed with special porous surfacing and construction methods to ensure that the roots of the tree are not damaged. It also comments that the neighbouring oaks and the preserved oaks to the west will be protected during development. The previous application stated that the foundations to the southernmost house would be constructed with piled foundations and a cantilevered floor slab to minimise the risk to the roots of these trees so it follows that this property could be constructed in the same manner. Although the southernmost house is now slightly closer to these trees the Council's Arboricultural Officer has not raised any objections to these mitigation measures subject to the submission of detailed method statements and tree protection measures.

- 4.43 It is noted that the Arboricultural Report also includes a schedule of proposed works to the trees on and around the site including to the preserved oaks at the rear. Planning records show that consent was granted for pruning works to these preserved trees in October 2017 therefore it is considered that additional works at this time would cause harm to these trees. It is therefore considered that if this proposal were recommended for approval the applicant should be directed to the consented tree works and the decision notice should make clear that additional works to these trees would not be acceptable at this time. It is considered that this could be achieved by way of a condition.
- 4.44 Whilst it is noted a number of smaller trees and the boundary hedge would be lost through the proposed development, it is noted that it is the larger trees which make to most significant contribution to local character and if the application were to be approved, full landscaping details will be required by condition to ensure that the frontages were appropriately landscaped.
- 4.45 The Council's Arboricultural Officer also comments that whilst the proposal could be constructed without significant impact on the trees the southernmost house would be surrounded by mature canopies and this is likely to lead to pressure for pruning works. A greater separation to the trees would be a benefit to the scheme, however, given that the largest trees are protected with a TPO or in Council ownership it is considered that these pruning works could be controlled and therefore this concern is not such that it would on its own warrant refusal of the proposal, however, it is a further indication that the proposal is an over development of the site and smaller better spaced properties would enable more separation to the boundary and to the large oak tree at the rear.

Biodiversity and Nature Conservation

- 4.46 The NPPF (section 11) states that the planning system should contribute to and enhance the natural environment including protecting biodiversity. Planning decisions must therefore prevent unacceptable harm to biodiversity and impose adequate mitigation measures where appropriate. The site itself has no ecological designation.
- 4.47 The applicant has provided a Bat and Badger Survey carried out by Intext Properties Limited dated March 2017. This comments that the habitats found on site during the survey, which included the original house, garage and garden, have some ecological value as they potentially could support several protected species such as bats and badgers and are linked to offsite ecological valuable habitats including Belfairs Woods, however, the report states that there was no evidence of bats utilising the existing building (now demolished) or the garage building and no evidence of their presence found at the site. In relation to Badgers, it comments that the site does contain a number of holes to the north-western corner of the site but these appeared historic and were unoccupied at the time of the survey and it concluded that there was no evidence of badgers on site at this time.

4.48 It is noted, however, that neighbours have reported sightings of badgers at the site more recently. Therefore it is considered that should the development be recommended for approval a condition requiring further details and mitigation measures to ensure the protection of any badgers on the site would be imposed. It is noted that Natural England have previously raised no objection to the development of this site subject to the proposal being carried out in strict accordance with suitable mitigation measures.

Community Infrastructure Levy (CIL) Charging Schedule.

4.49 This application is CIL liable. If the application had been recommended for approval, a CIL charge would have been payable. If an appeal is lodged and allowed the development will be CIL liable. Any revised application would also be CIL liable.

Conclusion

4.50 Overall, therefore, whilst the proposal has addressed part of reason for refusal 1 in relation to the impact on neighbours, and is considered satisfactory in terms of the standard of accommodation, traffic and parking and potential impact on trees, it is considered that the amended design, form, siting and layout of the scheme has not overcome the previous reason for refusal 02 relating to design, size, bulk, massing, siting and layout and it is considered that the amended proposal still represents a cramped scheme and an over development of the site. In addition it is considered that the increased scale of the houses in the amended proposal would be even more dominant of and out of character with the surrounding houses and wider streetscene as well as unresolved in their detailed design. It is also found that the impacts of the development on the amenities of the occupiers of 51 Lime Avenue remain unacceptable. The application is therefore recommended for refusal.

5 Planning Policy Summary

5.1 National Planning Policy Framework 2012

5.2 Development Plan Document 1: Core Strategy Policies KP1 (Spatial Strategy), KP2 (Development Principles), CP3 (Transport and Accessibility), CP4 (The Environment and Urban Renaissance), CP6 (Community Infrastructure), CP8 (Dwelling Provision)

5.3 Development Plan Document 2: Development Management Document Policies DM1 (Design Quality), DM2 (Low carbon development and efficient use of resources), DM3 (The Efficient and effective use of land), DM7 (Dwelling Mix), DM8 (Residential Standards), DM15 (Sustainable Transport Management)

5.4 SPD1 Design & Townscape Guide 2009

6 Representation Summary

Traffic and Transportation

- 6.2 2 parking spaces have been provided per dwelling which meeting current policy guidance therefore no highway objections are raised.

Environmental Health

- 6.3 No comments received.

Tree Section

- 6.4 The default position of BS 5837 is to have no construction within RPAs of trees unless there is an overriding reason to do so but it is accepted that special construction methods are available as long as they are carried out correctly. Although there are now only 3 houses proposed on the site, the southernmost house is within the RPA of T-19 and T-20. It would appear the construction is approximately 3.5 -4 m from T- 19 and T-20 which are off site, these trees have an RPA of 5.4 m. As far as I am aware piled foundations are to be used with a cantilevered floor slab and the piling is to take place outside of the RPA so no excavation will be carried out in the RPA. In theory this should not have an adverse impact on the root systems of T-19 and T-20. There is to be paving I assume to the front of the southernmost property and this will be within the RPAs of T-19-T-20 and T-21. A 'no dig' method of construction is proposed for this area and is acceptable as long as levels allow and it is carried out correctly. It will also be important to ensure that as much of the RPA as possible is soft landscaped.

I also note that the southernmost dwelling has trees on 3 sides in close proximity and some occupants may not find that agreeable due to shading, fear of trees falling over and general nuisance trees can sometimes cause. It is noted that this dwelling has been orientated differently from the other 2 to address some of these issues. If planning permission is granted we would require detailed method statements for construction within RPAS, a finalised tree protection plan and details of site monitoring with regard to tree protection

Structural Engineer

- 6.5 No comments received.

Waste Management

- 6.6 No comments received.

Leigh on Sea Town Council

6.7 The Committee RESOLVED TO OBJECT on the following basis:

Although there has been a reduction in the number of houses proposed on this land, the floor plans in total of the 3 homes are more than the previous 4 homes applied for. The development would, by reason of its design, bulk, mass size and siting, result in an overbearing relationship with and an increased sense of visual enclosure and a loss of light and outlook at 11 Underwood Square and 51 Lime Avenue, to the detriment of the residential amenities of the occupiers of these properties. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 and CP4 of the Southend-on-Sea Core strategy (2007), policies DM1 and DM3 of the Southend-on-Sea Development Management document (2015), and the advice contained within the Southend-on-Sea Design and Townscape guide (2009).

The proposal would, by reason of its design, size, bulk, mass, siting and layout, represent a cramped form of development and an overdevelopment of the land, which is out of keeping with and detrimental to the character and appearance of the application site and the area more widely. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 and CP4 of the Southend-on-Sea Core strategy (2007), policies DM1 and DM3 of the Southend-on-Sea Development Management document (2015), and the advice contained within the Southend-on-Sea Design and Townscape guide (2009).

Additionally Leigh Town Council wish to point out that the drawings are misleading with regard to the proposed elevations and street scene. 51 Lime Avenue is not directly next to House 1.

Section 11 (Foul Sewage) on the planning application is of concern. There is no mention as to how the foul water would be disposed of. We need assurances that the infrastructure will be able to cope with the high volumes of waste/foul water from 3 x 6 bed roomed, 6 W.C/bathroom houses on land where previously only 1 house existed. This would have a detrimental effect on the surrounding homes and Leigh Town Council would like the assurance that the application complies with policy DM2 of the Southend-on-Sea Development Management document (2015).

This proposed development, although only 3 houses could in effect home 36 people (39 if the study space was also used). This therefore has the potential of a direct impact on its surrounds which creates a need for additional infrastructure or improved community services/facilities. As well as the Community Infrastructure Levy that would apply, Leigh-on-Sea Town Council would expect Policy KP3 of the Southend-on-Sea Core strategy (2007) to apply and that the advice statements 1.20 and 1.22 (f) of Supplementary Planning Document 2 – planning obligations: a guide to section 106 and developer contributions 2015 be followed should any development of any kind on this land be sought.

Natural England

- 6.8 The following comments were provided by Natural England in relation to the previous application and the principle of development at this site which was for a similar scale and siting of development.

Natural England has no comments to make on this application.

The lack of comment from Natural England does not imply that there are no impacts on the natural environment, but only that the application is not likely to result in significant impacts on statutory designated nature conservation sites or landscapes.

It is for the local planning authority to determine whether or not this application is consistent with national and local policies on the natural environment. Other bodies and individuals may be able to provide information and advice on the environmental value of this site and the impacts of the proposal to assist the decision making process. We advise LPAs to obtain specialist ecological or other environmental advice when determining the environmental impacts of development.

[Officer Comment: If the application were recommended for approval then further details in relation to the protection of badgers would be required by condition. It is noted that it may be possible to obtain a licence for the temporary or permanent closures of setts from Natural England]

Public Consultation

- 6.9 A site notice was displayed and 28 letters sent to neighbouring properties notifying them of the proposal.

13 objections were received from residents which raises the following issues:

- The 3 x 6-7 bed dwellings off the same total area as the 4 original dwellings in terms of bulk and mass so will still be overbearing to neighbours and over scaled in the streetscene and out of character with the area
- The proposal remains significantly higher than neighbouring properties –2 – 2.8m taller
- The proposal will dominate the western aspect of the square which is characterised by 2-4 bed houses
- The southern house garage is inaccessible which also signifies over development
- Lack of respect for the local environment
- Impact on local services
- Impact on trees
- The garages are not large enough for parking
- 2 parking spaces is not enough for this number of bedrooms, this is an area of parking stress.
- Loss of on street parking.
- The floorspace is greater in this application than the previously refused application and much greater than all the other houses in the area
- Spare rooms may be let out

- The application does not have a design statement
- The double drives result in a significant loss of enclosure of frontage which would be out of character
- Impact on badgers
- The badger report is incorrect as neighbours have seen badgers in the area
- The shadow drawings do not take account of the existing trees

[Officer Comment: These concerns are noted and they have been taken into account in the assessment of the application in Section 4 above.]

6.10 Councillor Arscott has requested this application be dealt with by Development Control Committee.

7 Relevant Planning History

7.1 Crown lift, prune and removal of deadwood to various oak trees (works to trees covered by a tree preservation order) (ref 17/01361/TPO) was granted October 2017

7.2 Demolish existing dwelling house and erect 4no two storey dwelling houses, form vehicular accesses on to Underwood Square (ref 17/00234/FUL) was refused for the following reasons:

01 The proposed development would, by reason of its design, bulk, mass, size and siting, result in an overbearing relationship with and an increased sense of visual enclosure and a loss of light, outlook at 11 Underwood square and 51 Lime Avenue, to the detriment of the residential amenities of the occupiers of these properties. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 an CP4 of the Southend-on-Sea Core Strategy (2007), Policies DM1 and DM3 of the Southend-on-Sea Development Management Document (2015); and the advice contained within the Southend-on-Sea Design and Townscape Guide (2009).

02 The proposal would, by reason of its design, size, bulk, mass, siting and layout represent a cramped form of development and an overdevelopment of the land, which is out of keeping with and detrimental to the character and appearance of the application side and the area more widely. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 an CP4 of the Southend-on-Sea Core Strategy (2007), Policies DM1 and DM3 of the Southend-on-Sea Development Management Document (2015); and the advice contained within the Southend-on-Sea Design and Townscape Guide (2009).

7.3 Demolish existing dwellinghouse (Application for Prior Approval for Demolition)- Prior approval is required and granted (17/00396/DEM)

- 7.4 Crown reduction by 4-5m to five Oak Trees (Works covered by a Tree Preservation Order)- Refused (16/01866/TPO) for the following reason:

01 "The five Oak trees positively benefit the character and appearance of the local area and have significant amenity value. No evidence has been put forward to justify the crown reduction, which would result in a detrimental impact to the character and appearance of the trees and harmful to visual amenity and character of the area, contrary to Policies KP2 and CP4 of the Southend-on-Sea Core Strategy, Policy DM1 of the Development Management Document DPD2 of the Southend-on-Sea Borough Local Plan, and guidance contained within the SPD1, Planning Practice Guidance (Tree Preservation Orders and trees in conservation area)".

8 Recommendation

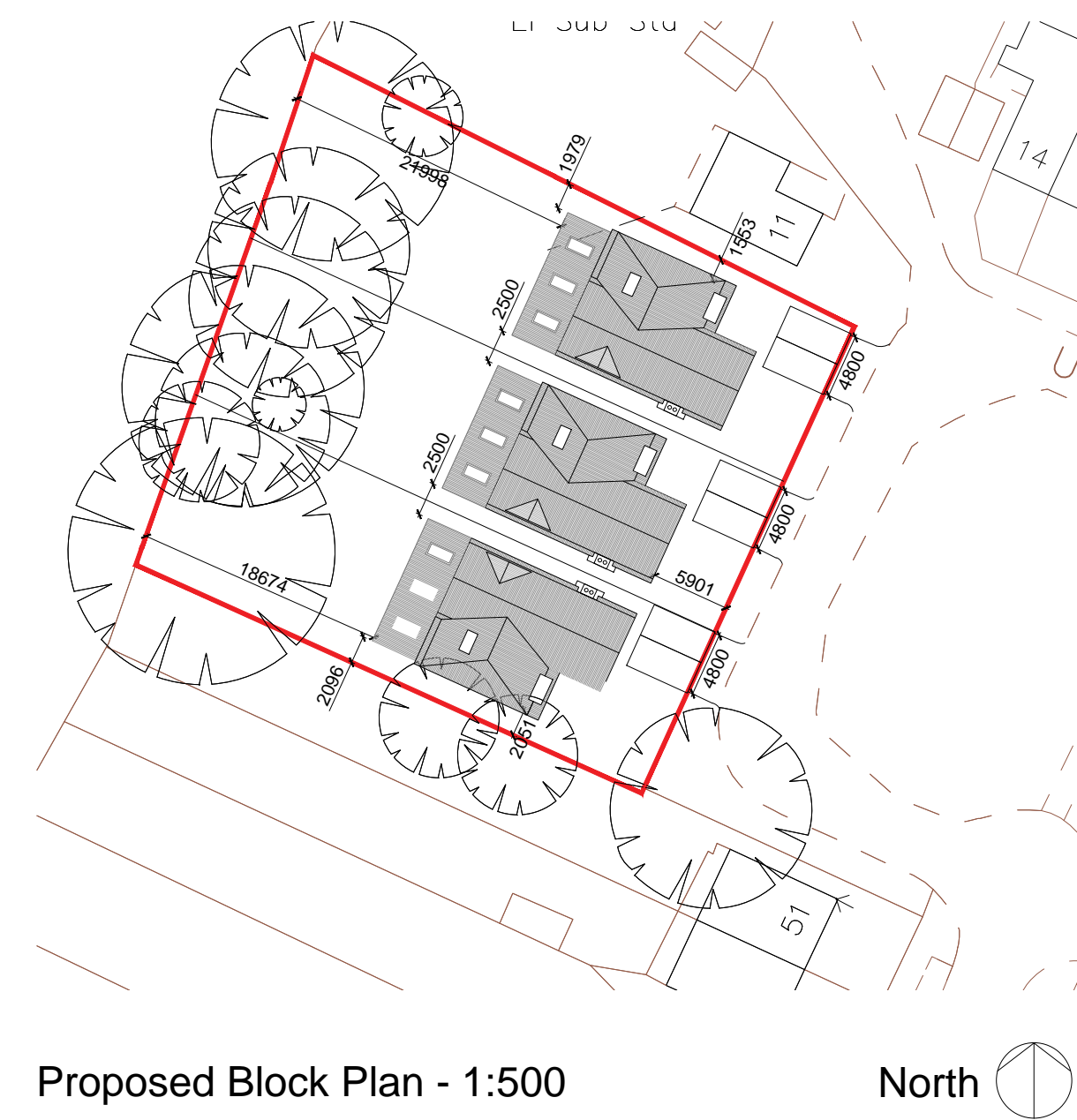
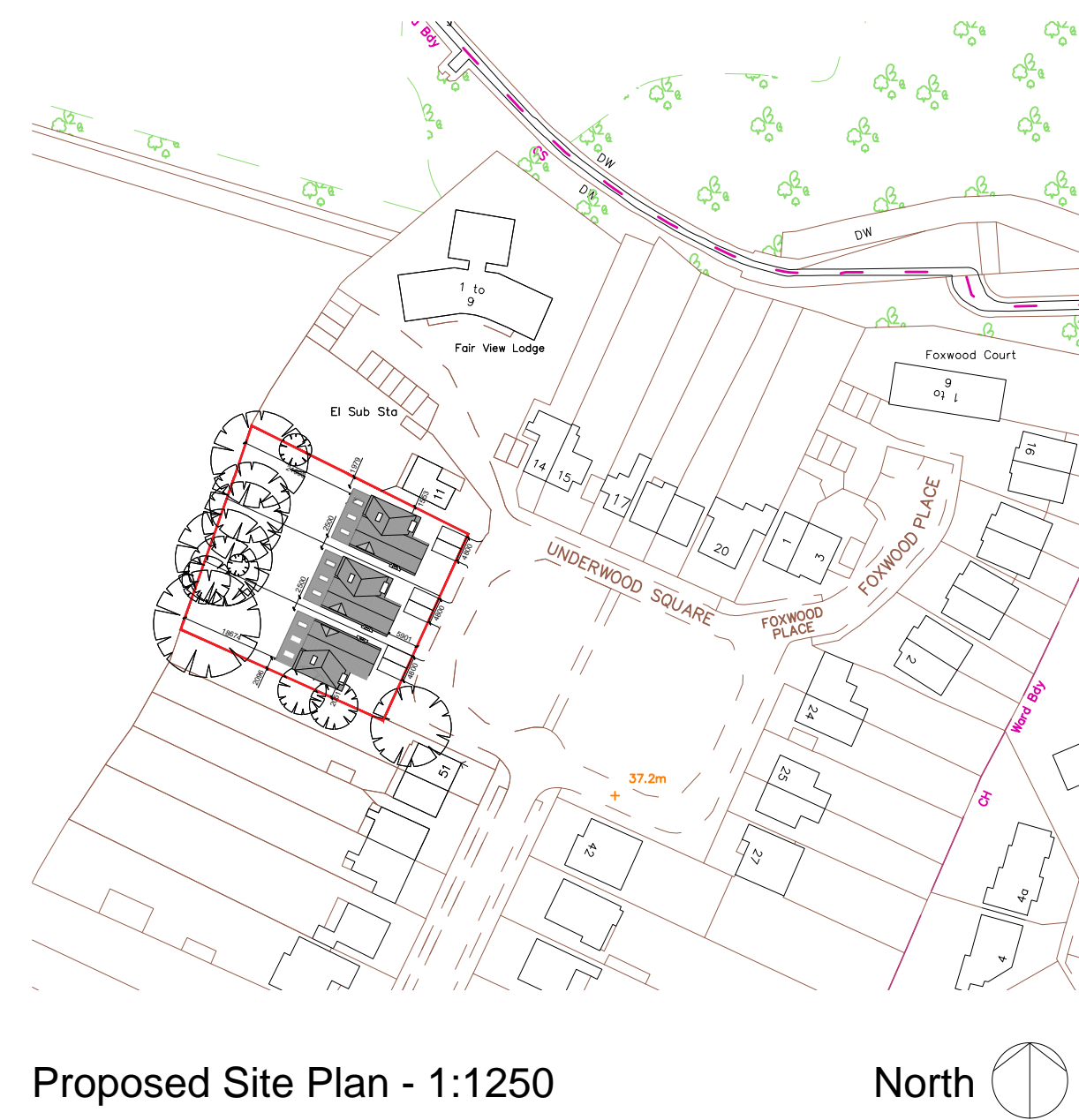
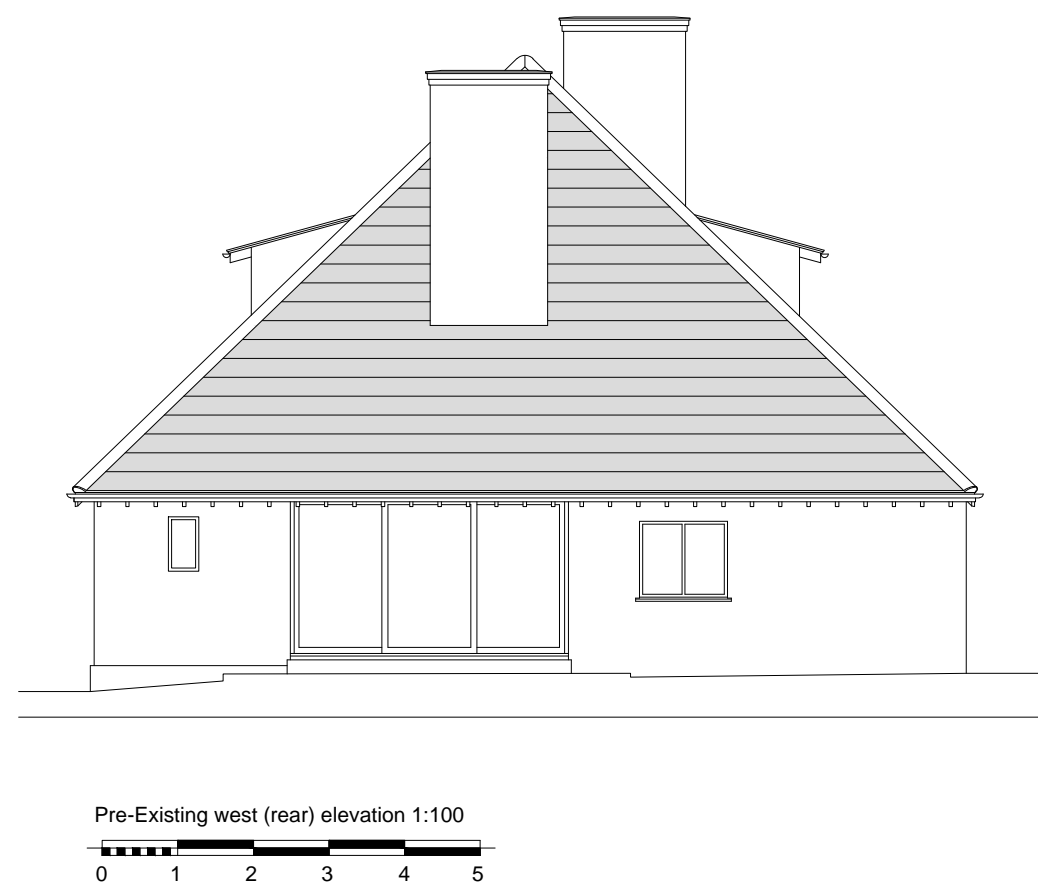
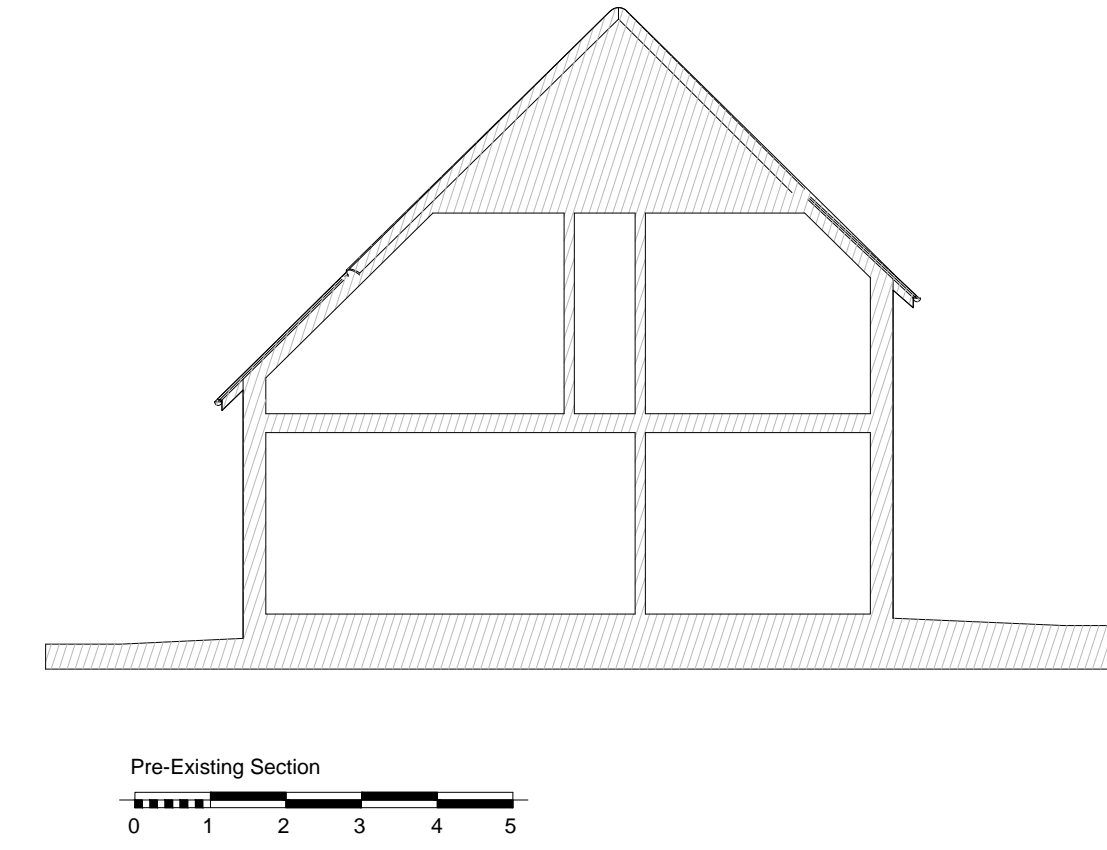
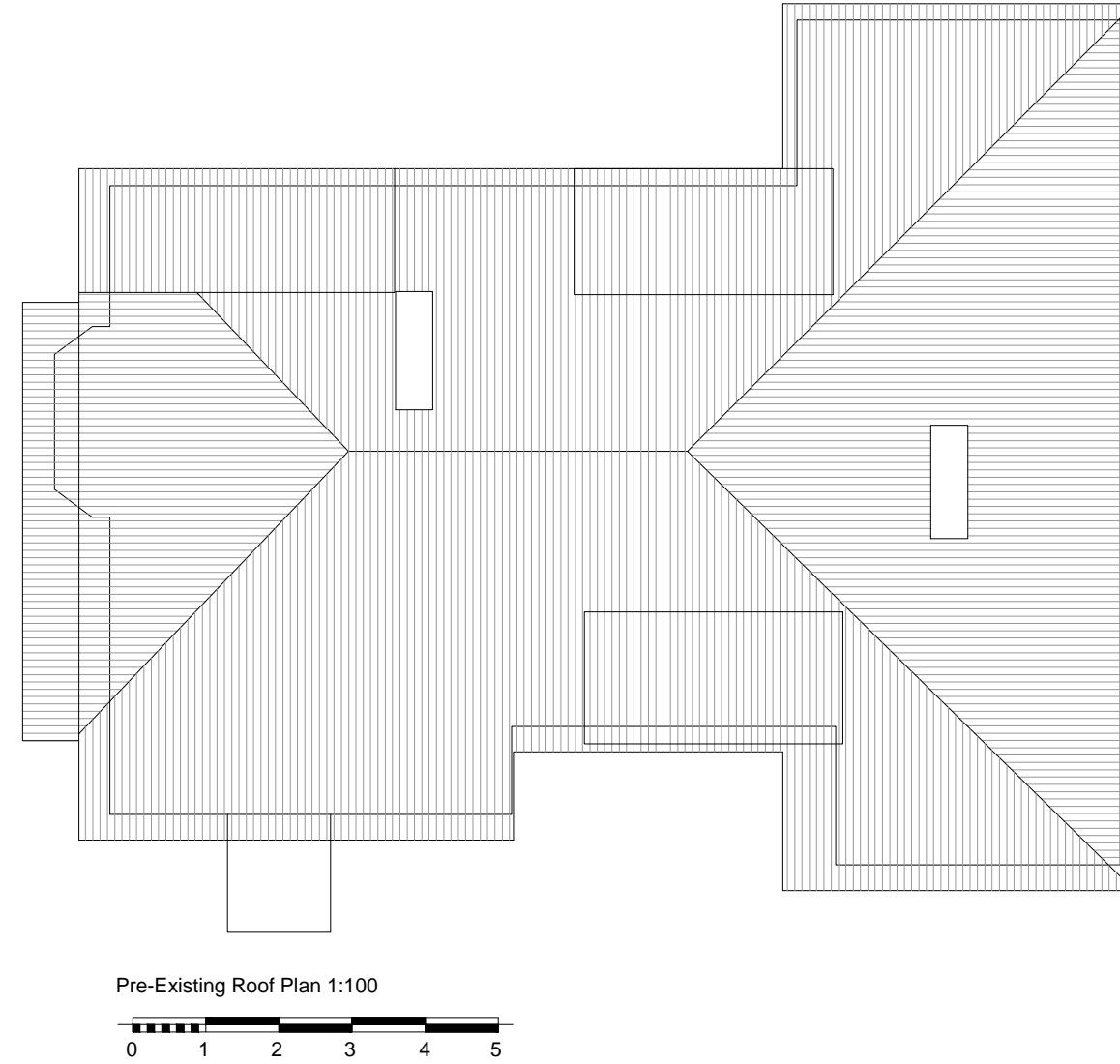
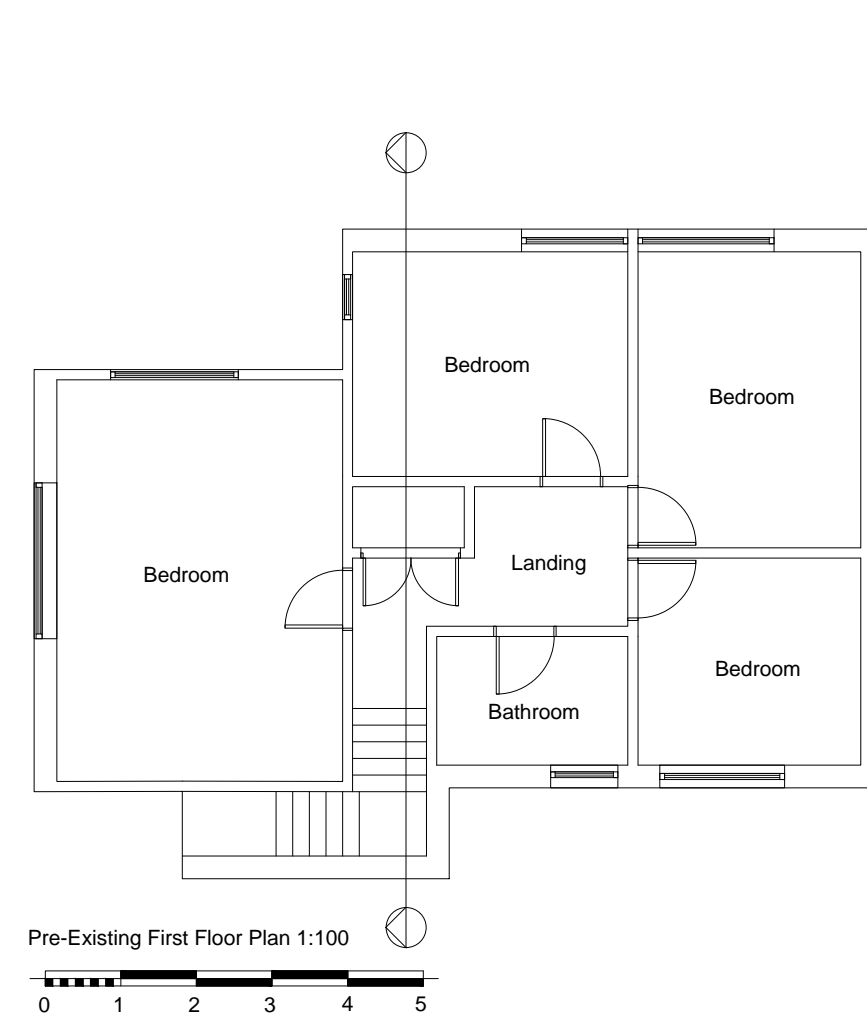
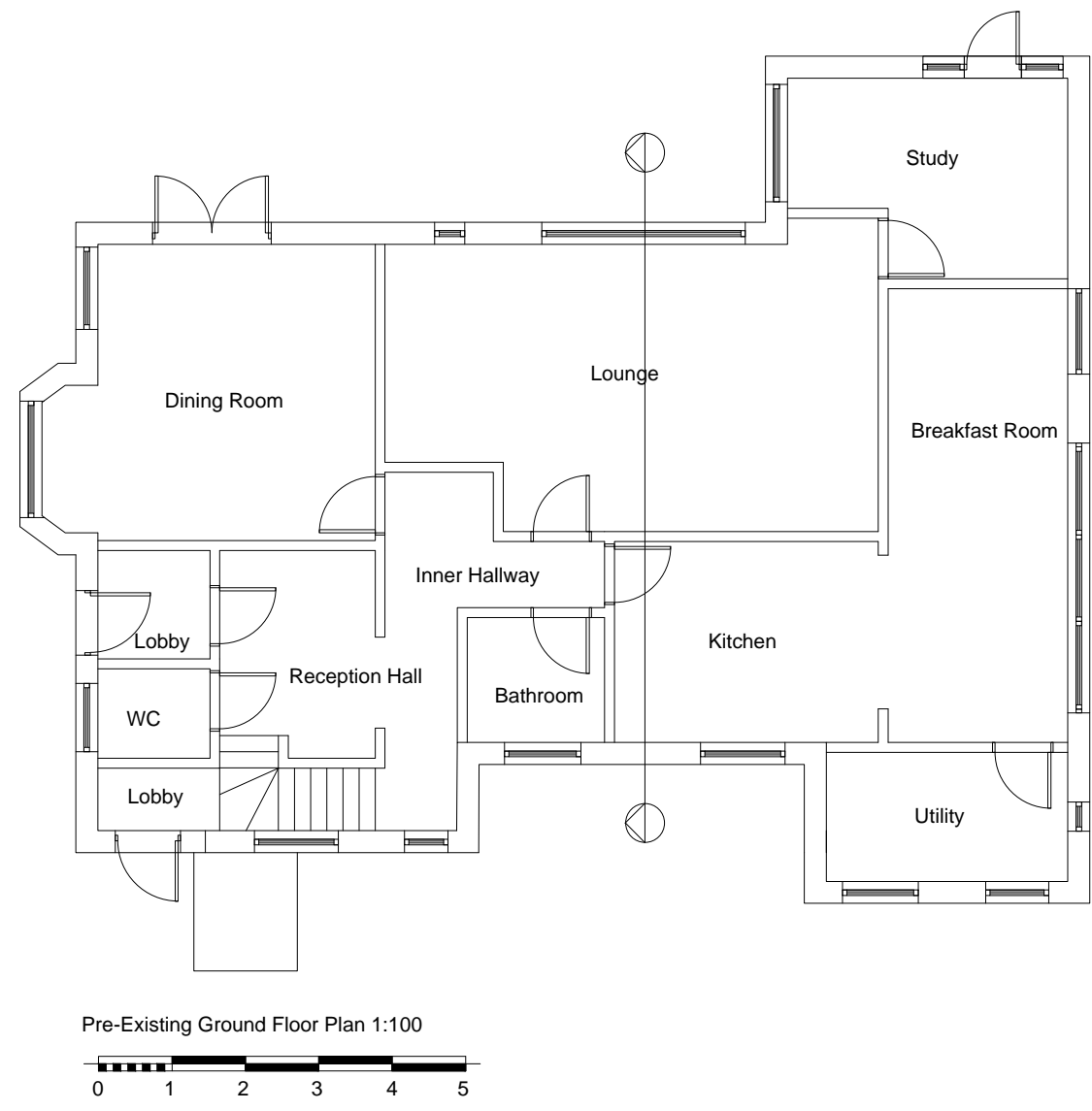
- 8.1 Members are recommended to REFUSE PLANNING PERMISSION for the following reasons:**

- 01 The proposal would, by reason of its detailed design, size, bulk, mass, siting and layout appear incongruous in the streetscene and represent a cramped form of development and an overdevelopment of the land, which is out of keeping with and detrimental to the character and appearance of the application site and the area more widely. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 and CP4 of the Southend-on-Sea Core Strategy (2007), Policies DM1 and DM3 of the Southend-on-Sea Development Management Document (2015); and the advice contained within the Southend-on-Sea Design and Townscape Guide (2009).**
- 02 The proposed development would, by reason of its design, bulk, mass, size and siting, result in an overbearing relationship with and an increased sense of visual enclosure and a loss of outlook at 51 Lime Avenue, to the detriment of the residential amenities of the occupiers of this property. The proposal is therefore unacceptable and contrary to the National Planning Policy Framework, Policies KP2 and CP4 of the Southend-on-Sea Core Strategy (2007), Policies DM1 and DM3 of the Southend-on-Sea Development Management Document (2015); and the advice contained within the Southend-on-Sea Design and Townscape Guide (2009).**

Informative

- 01 Please note that this application would be liable for a payment under the Community Infrastructure Levy Regulations 2010 (as amended) if planning permission had been granted. Therefore if an appeal is lodged and subsequently allowed, the CIL liability will be applied. Any revised application would also be CIL liable.**

The Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern with the proposal and determining the application within a timely manner, clearly setting out the reason(s) for refusal, allowing the Applicant the opportunity to consider the harm caused and whether or not it can be remedied by a revision to the proposal. The detailed analysis is set out in a report prepared by officers. In the circumstances the proposal is not considered to be sustainable development. The Local Planning Authority is willing to discuss the best course of action.



STATUS: AWAITING APPROVAL

PROJECT STAGE: S3 - Planning
 CLIENT: Mr G Newton
 PROJECT: Haydon House
 PROJECT NO: 385-08-16
 DRAWING: Pre-Existing, Existing and Proposed Site and Block Plans
 SCALE: 1:100, 1:500, 1:1250 on A1

DRAWN BY: DS
 CHECKED BY: []

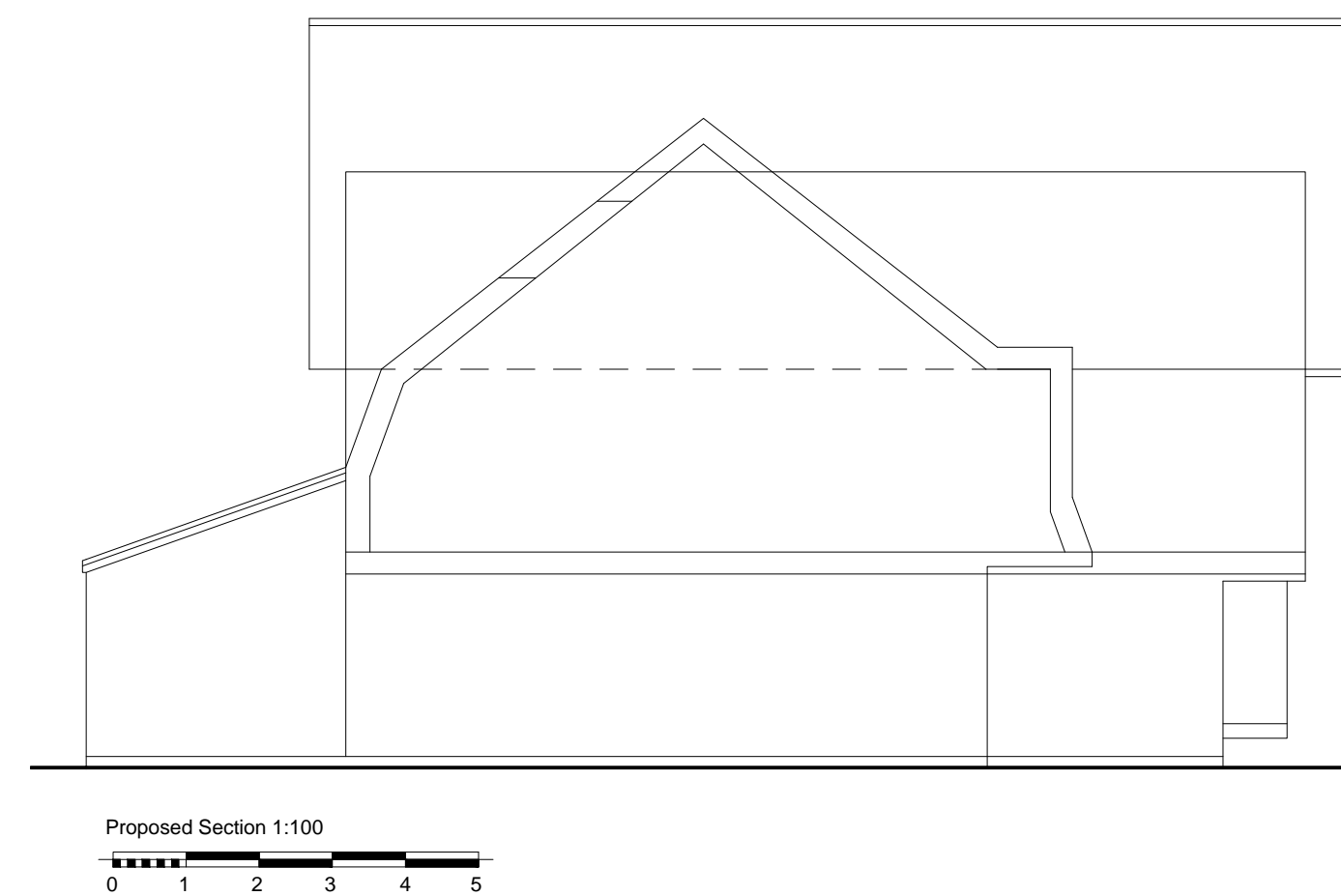
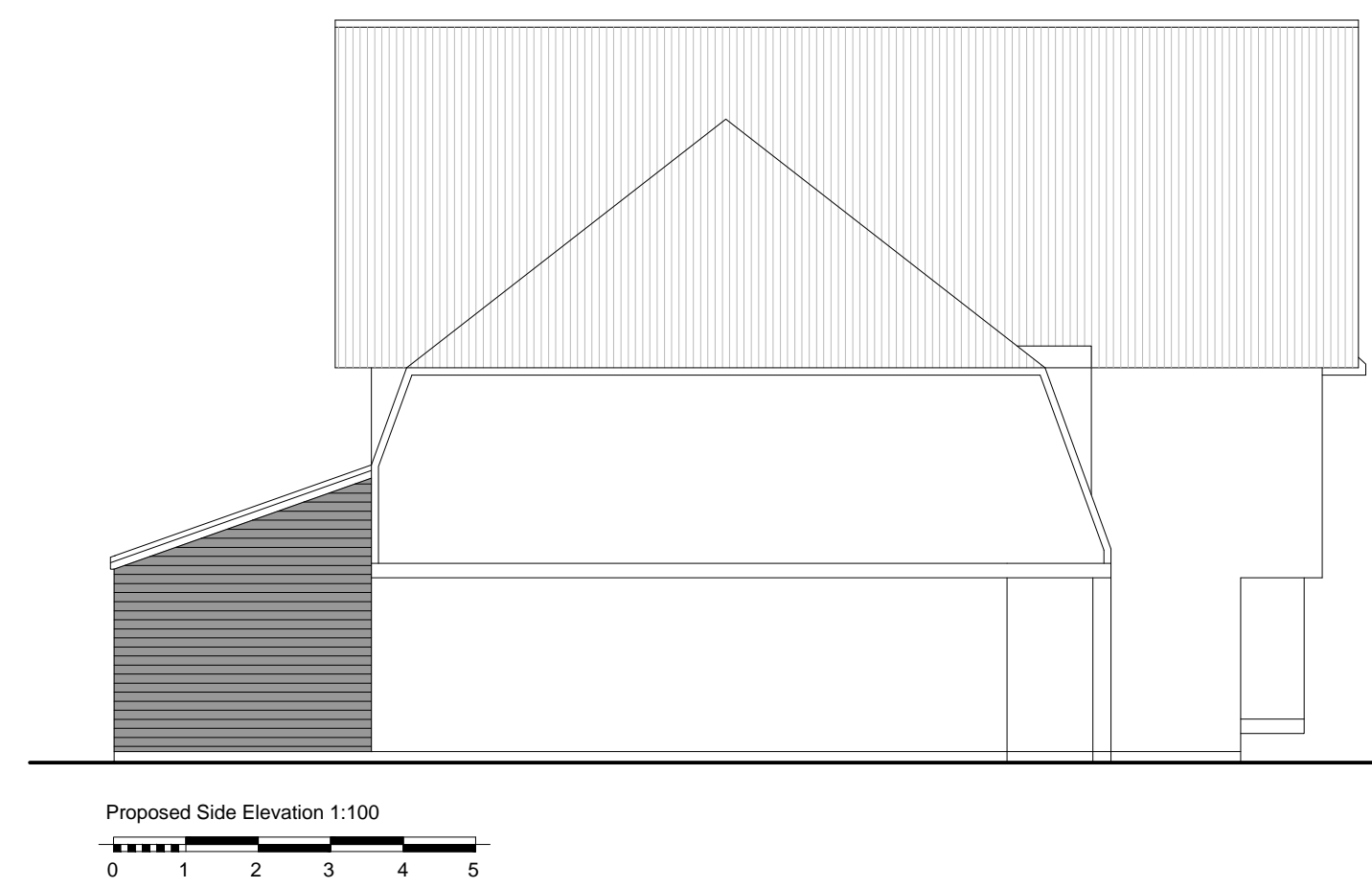
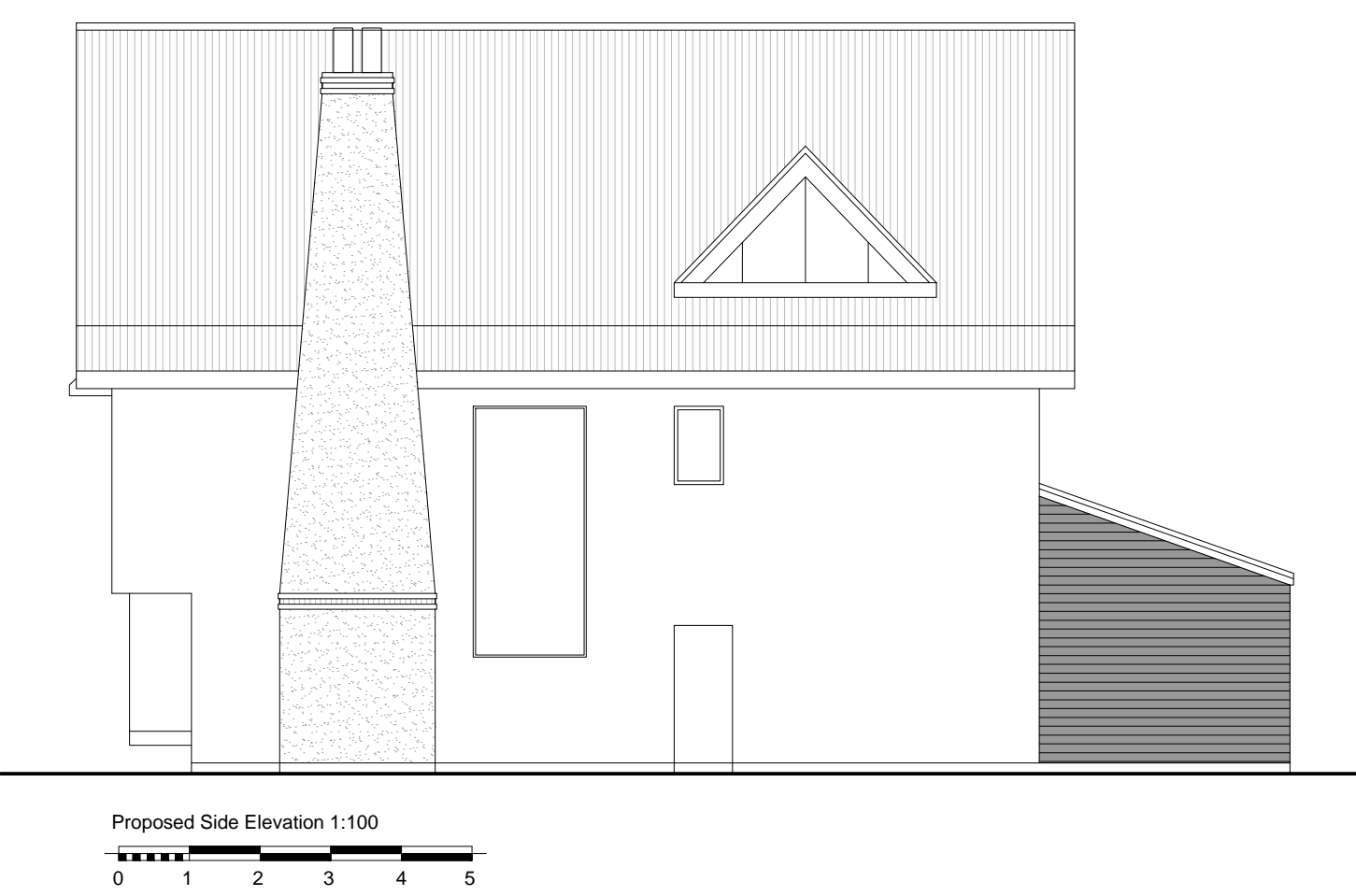
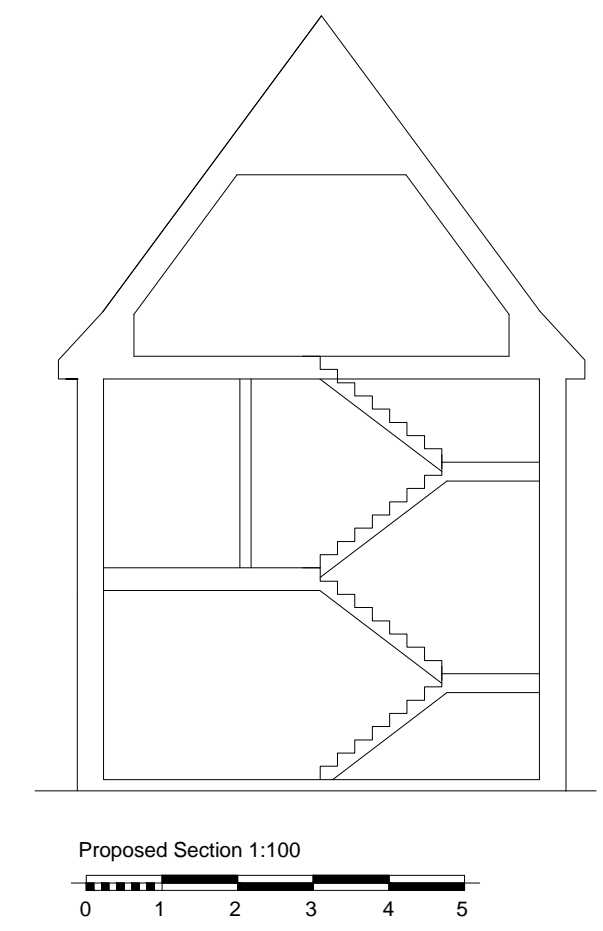
PROJECT NO: 385-08-16
 PAGE NO: 385P010
 REVISION: []

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STATUS: AWAITING APPROVAL

PROJECT STAGE: **S3 - Planning** DRAWN BY: **DS** CHKD BY:

CLIENT: **Mr G Newton**

PROJECT: **Haydon House** PROJECT NO: **385-08-16** PAGE NO: **385P013**

DRAWING: **Proposed Elevations** REVISION: **1**

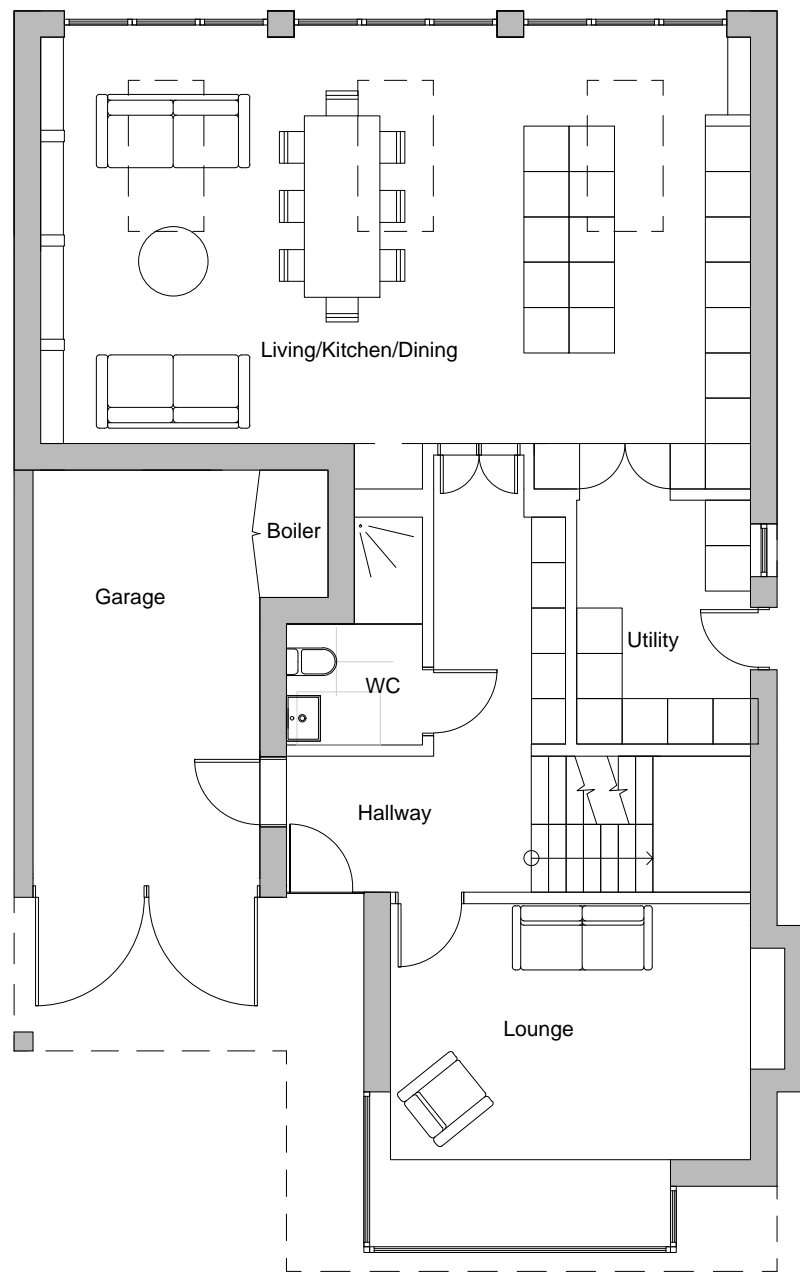
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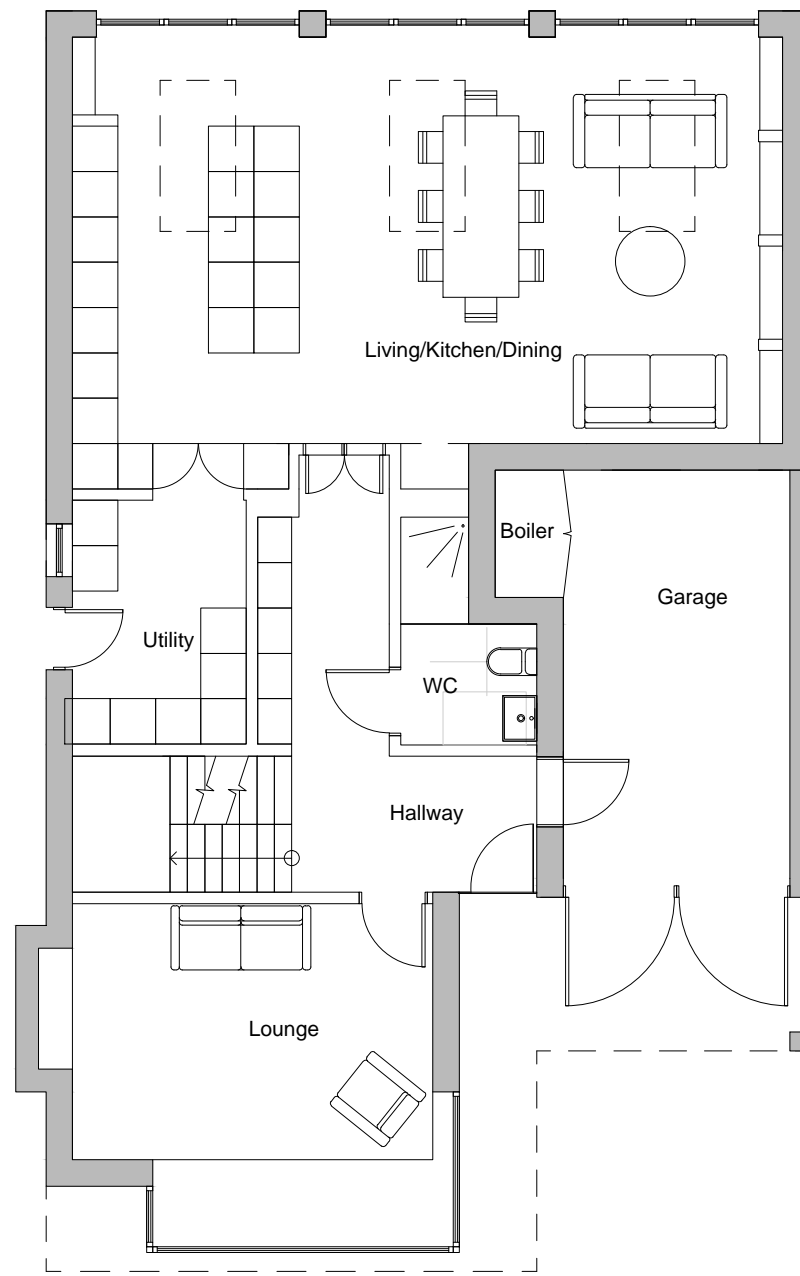
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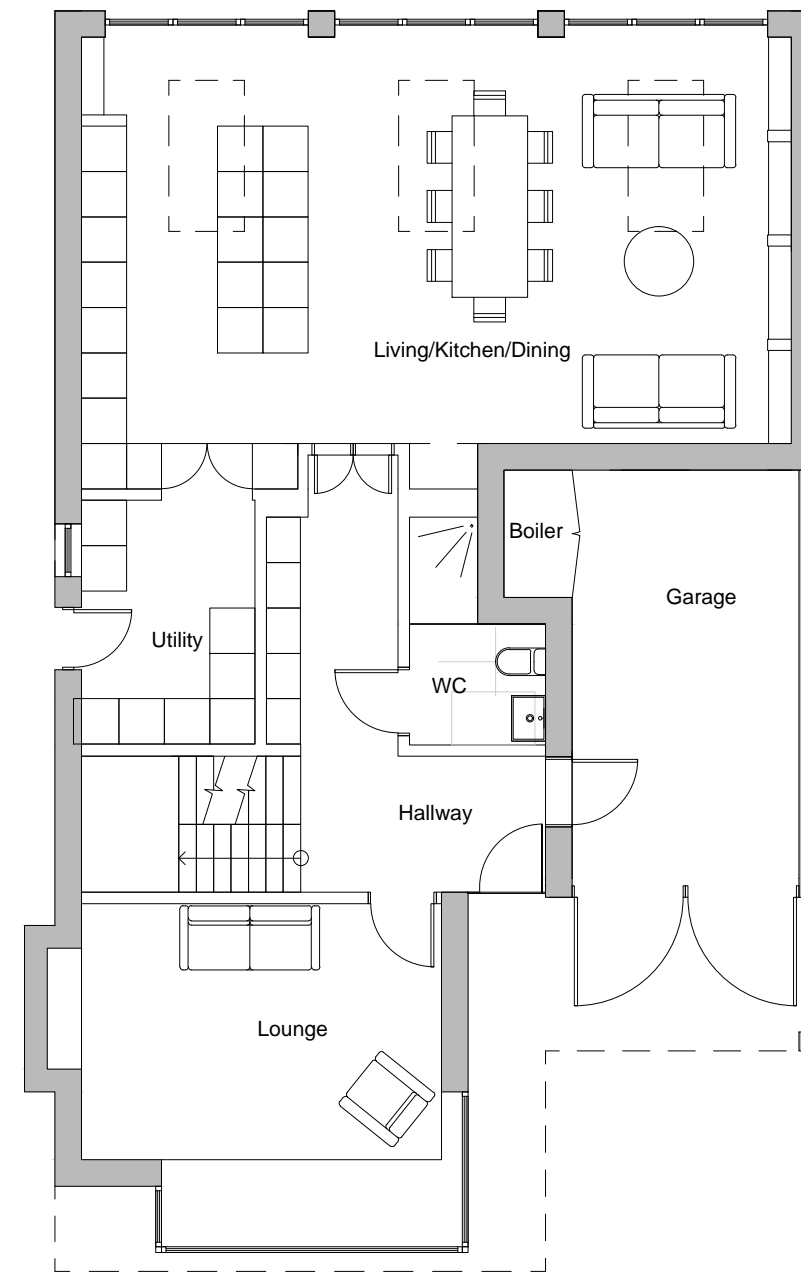
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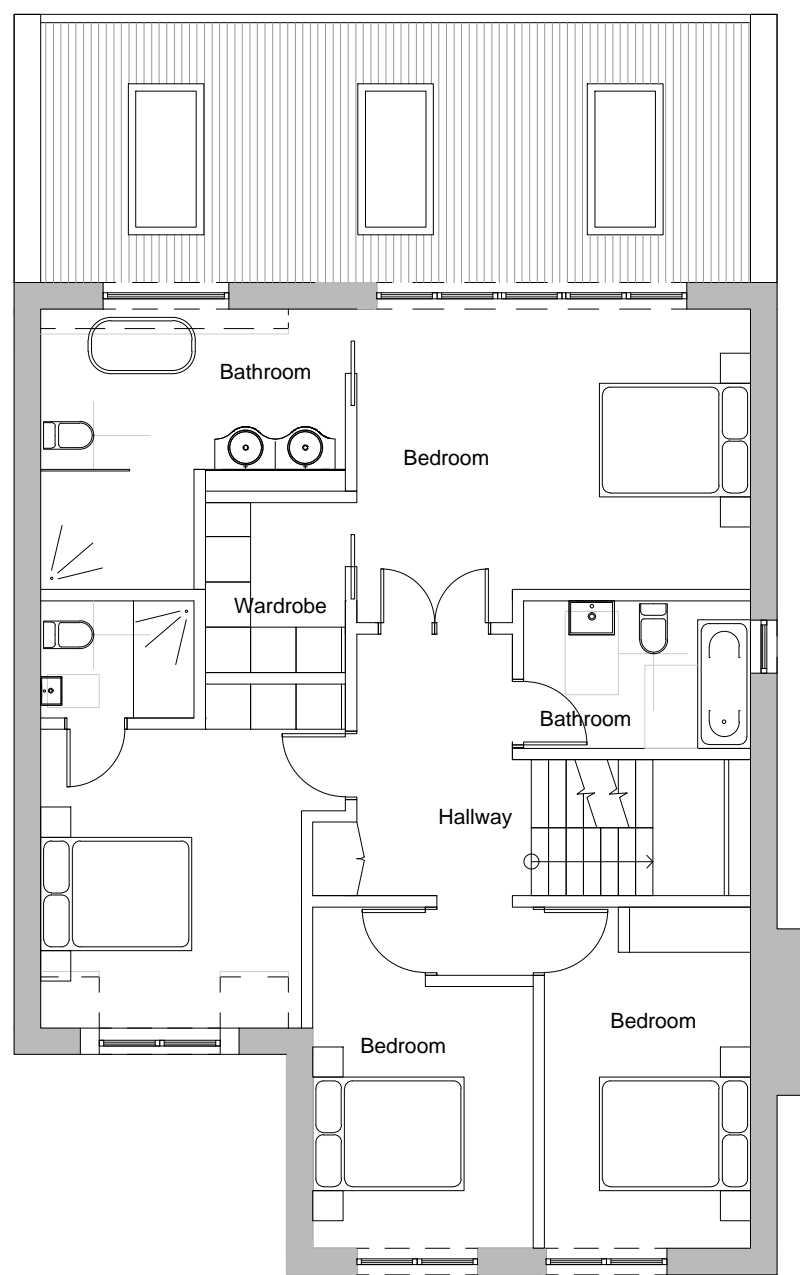
Proposed Plan GF 1:100
House 1



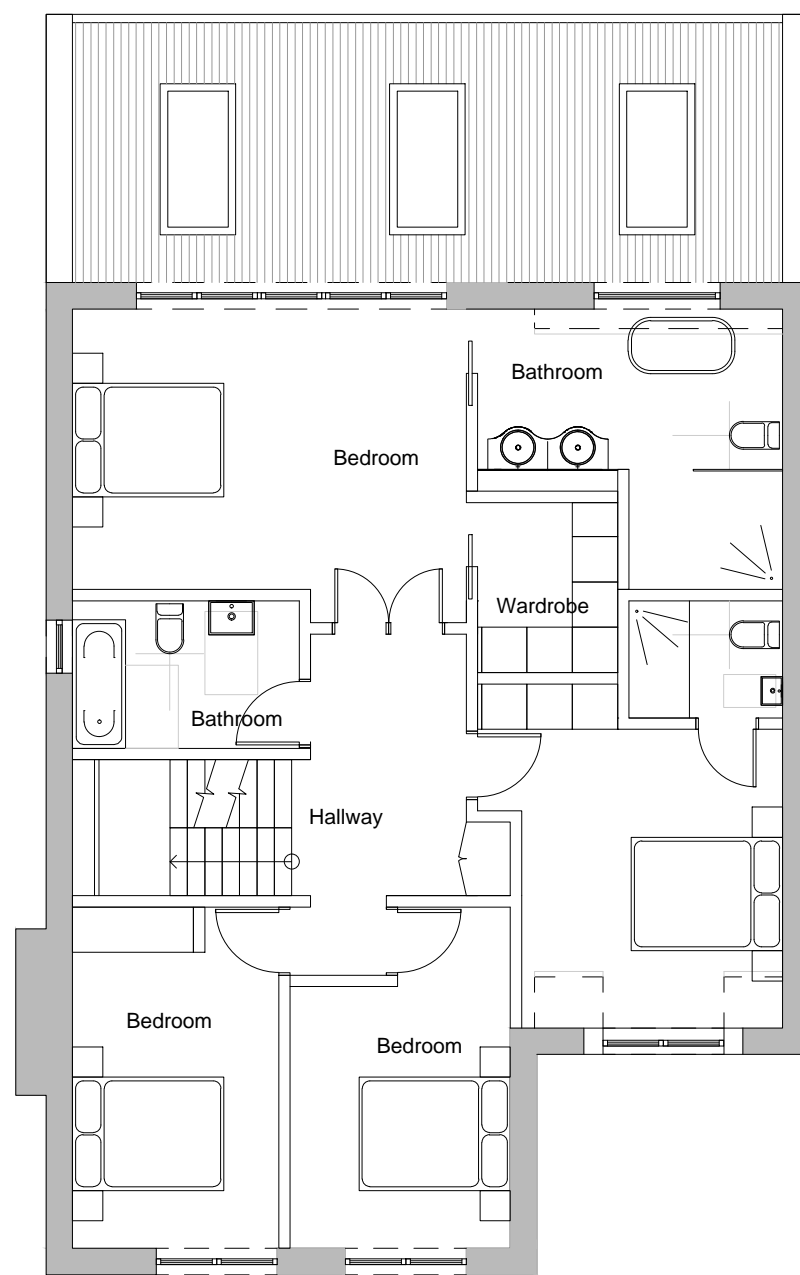
House 2



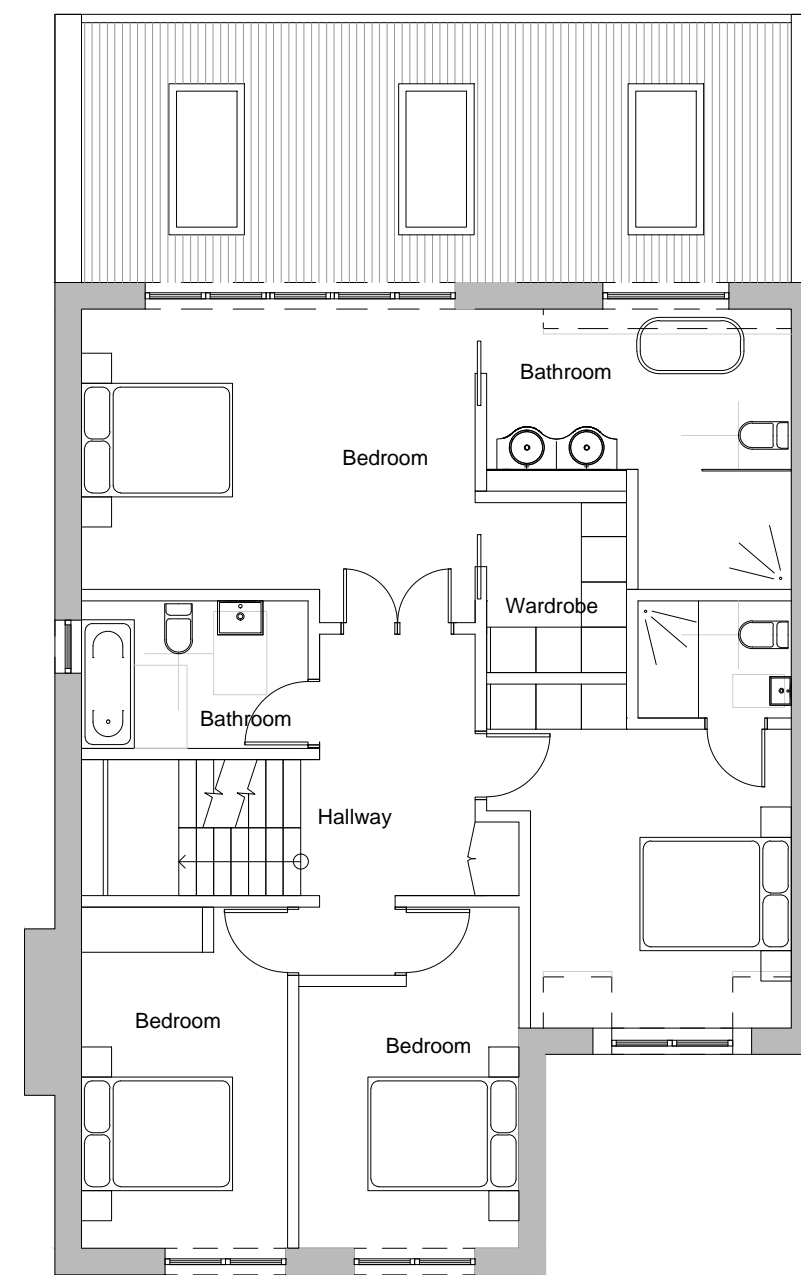
House 3



Proposed Plan FF 1:100
House 1



House 2



House 3

STATUS: AWAITING APPROVAL

PROJECT STAGE: S3 - Planning
 CLIENT: Mr G Newton
 PROJECT: Haydon House
 PROJECT NO: 385-08-16
 DRAWING: Proposed GF and FF Plans

DRAWN BY: DS
 CHKED BY:

Postcode: SS9-3PB
 REVISION: -

PAGE NO: 385P011

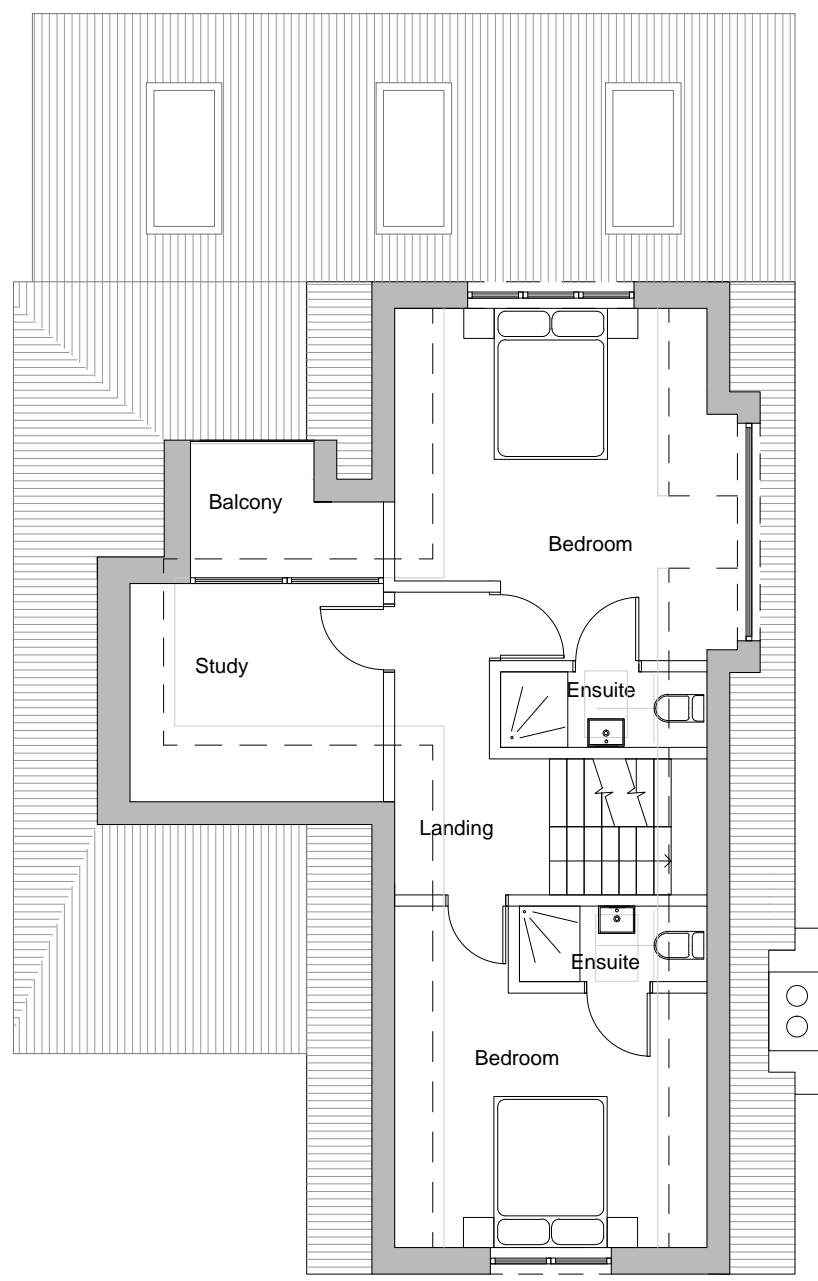
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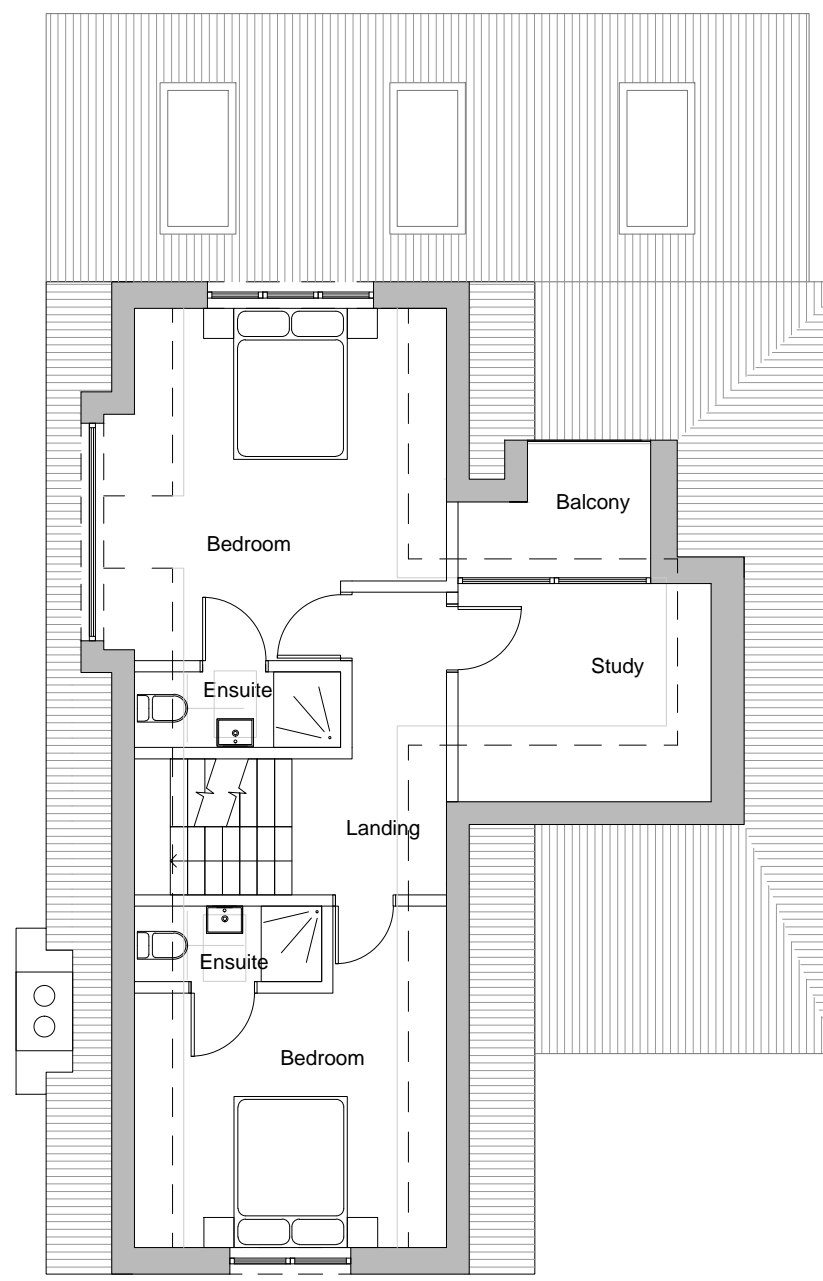
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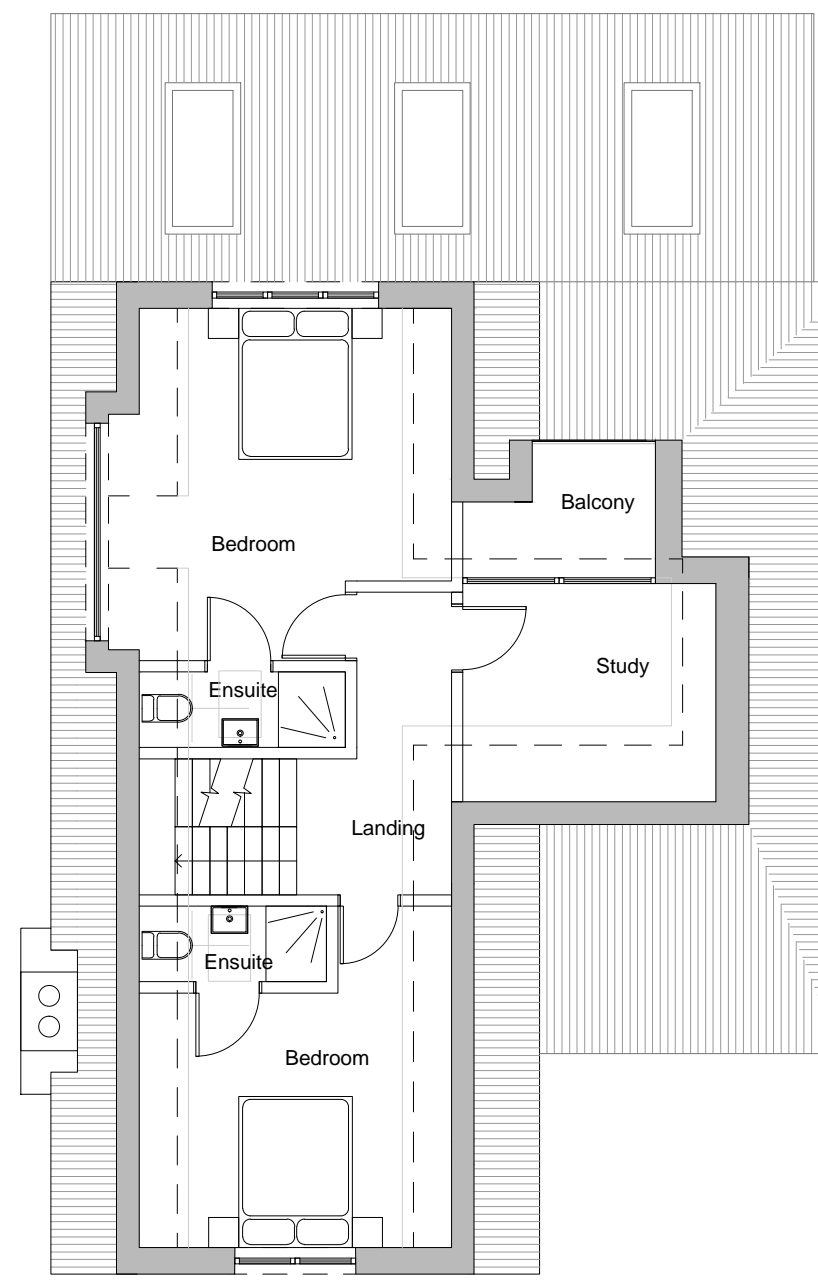
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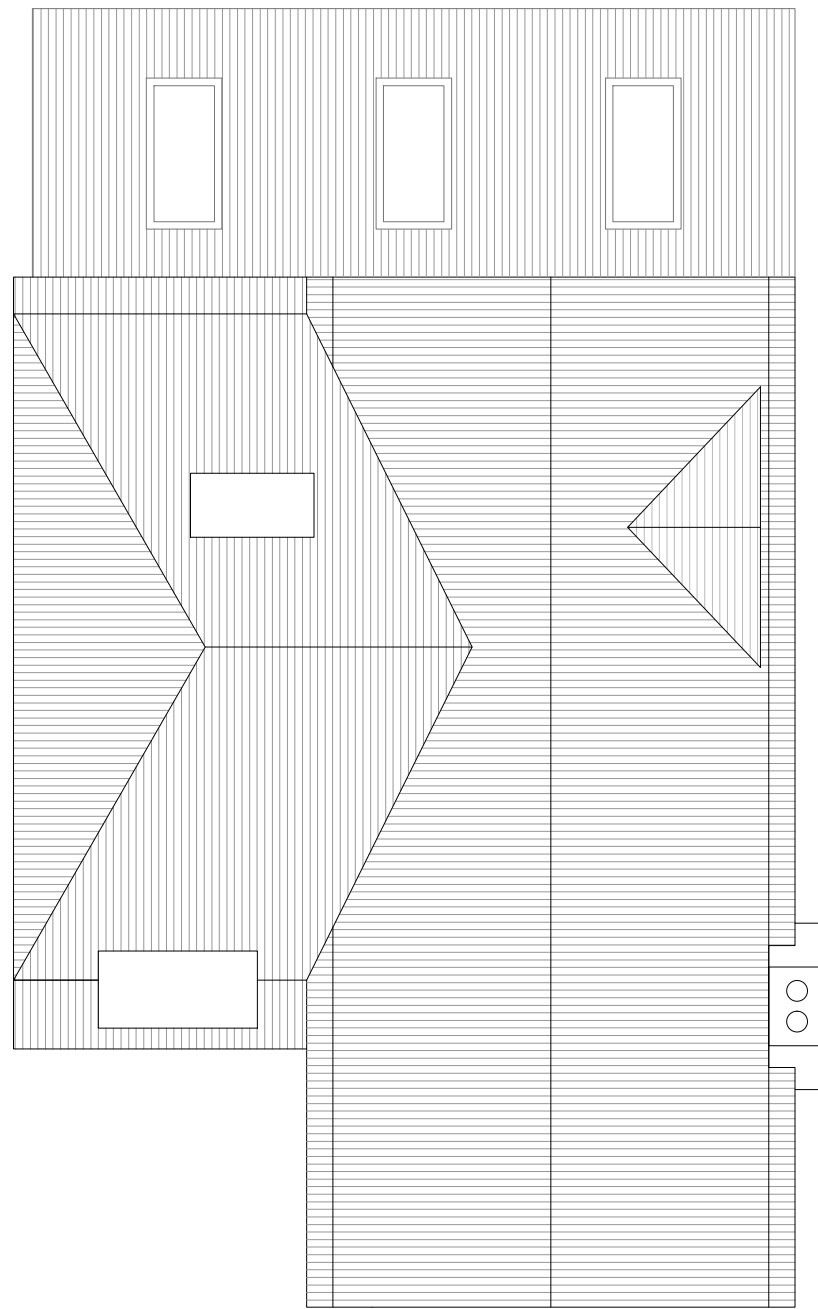
Proposed Plan Loft 1:100
House 1



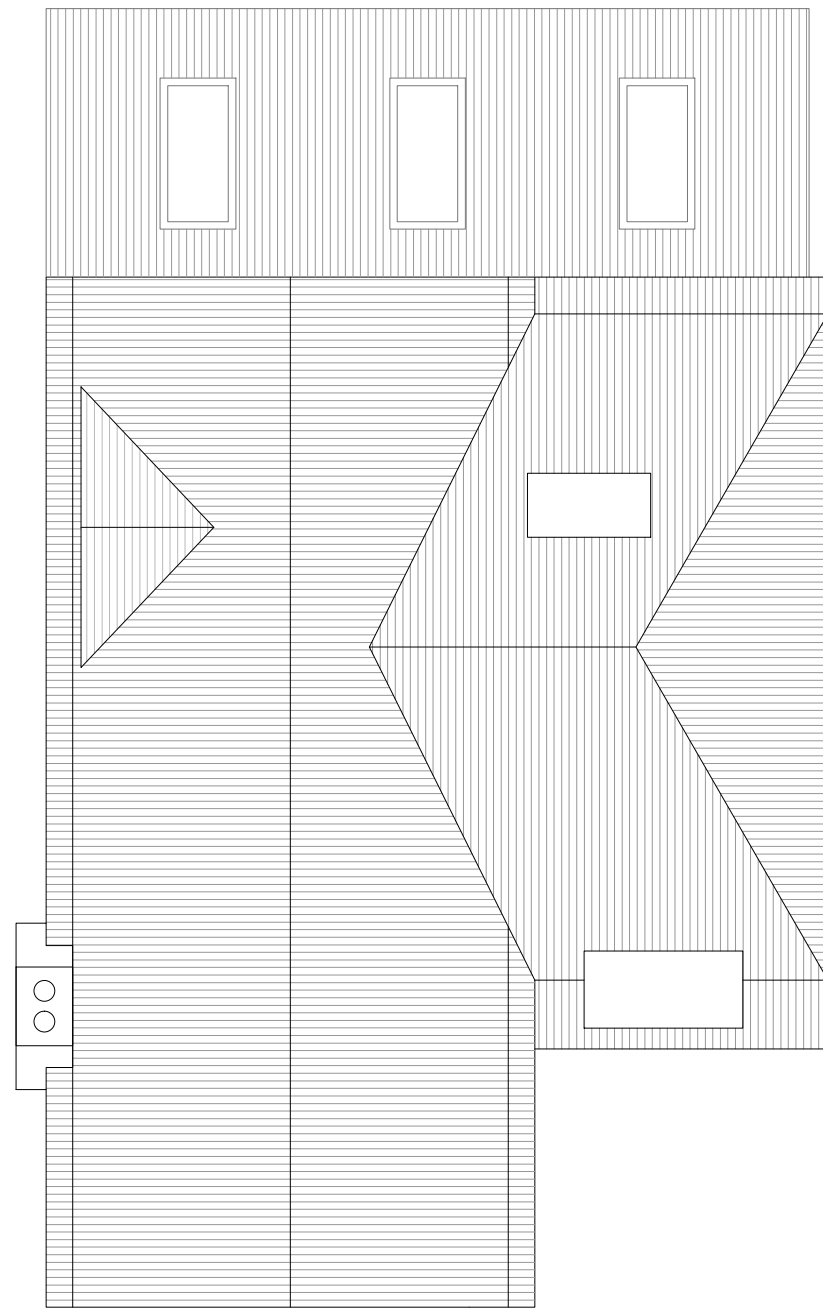
House 2



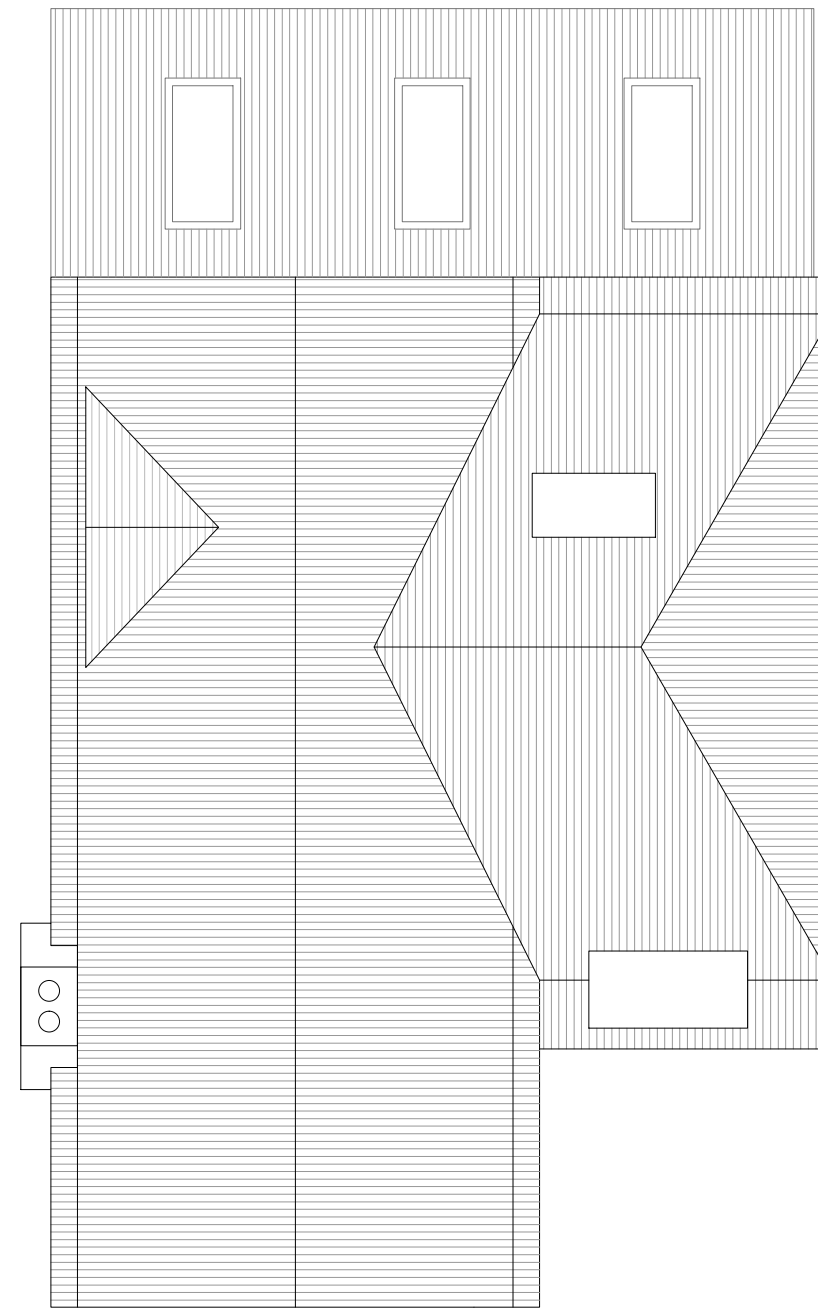
House 3



Proposed Roof Plan 1:100
House 1



House 2



House 3

STATUS: AWAITING APPROVAL

PROJECT STAGE: S3 - Planning
 CLIENT: Mr G Newton
 PROJECT: Haydon House
 PROJECT NO: 385-08-16
 DRAWING: Proposed SF and Roof Plans

DRAWN BY: DS
 CHKED BY:

Postcode: SS9-3PB
 REVISION: -

PAGE NO: 385P012

SCALE:
1:100 on A2

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Reference:	17/01708/AMDT	<h1>10</h1>
Ward:	Leigh	
Proposal:	Application to vary condition 02 (approved plans) and condition 03 (matching materials) relocation of glazed area to flank wall and amendments to materials (Minor Material Amendment of Planning Application 15/01313/FUL dated 29.09.2015)	
Address:	22A Woodfield Gardens, Leigh-On-Sea, Essex, SS9 1EW	
Applicant:	Ms Karen Daly	
Agent:	Mr David Grew	
Consultation Expiry:	25.10.2017	
Expiry Date:	15.11.2017	
EoT Date:	20.12.2017	
Case Officer:	Robert Lilburn	
Plan Nos:	15/26 No.1 A; 15/26 No.3(2) A	
Recommendation:	GRANT PLANNING PERMISSION	



1 The Proposal

1.1 Permission is sought to vary condition 02 (Approved Plans) and condition 03 (materials) of planning permission 15/01313/FUL dated 30.09.2015.

1.2 The development granted permission and already commenced further to application 15/01313/FUL is described as *'Form pitched roof extension with dormers to rear and recessed balcony to side (Amended Proposal)'*.

1.3 The conditions and reasons are as follows:

02 The development hereby permitted shall be carried out in accordance with the following approved plans: 15/26/1; 15/26/3 & Site Plan.

Reason: To ensure that the development is carried out in accordance with the provisions of the Development Plan.

03 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings hereby approved or are required by conditions to this permission.

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is as set out in the National Planning Policy Framework (NPPF), DPD1 (Core Strategy) 2007 policy KP2 and CP4, Development Management DPD Policy DM1, and SPD1 (Design and Townscape Guide).

1.4 The amendments proposed are as follows:

1. Replace balustrade and balcony with a part-glazed, full height screen finished externally in glass with grey frames and grey "Hardie Plank" cladding.
2. The glazed screen would incorporate doors.

1.5 The works have already been carried out. The application has been submitted following a planning enforcement investigation into alleged unauthorised development (not in accordance with the approved plans).

1.6 The application has been called in to Development Control Committee by Councillor Mulronev.

2 Site and Surroundings

2.1 The application site is located on the east side of the Woodfield Gardens cul-de-sac, and is occupied by a two storey semi-detached dwelling with roof accommodation, which has been converted into two flats. The building is unusual in design as it has a subservient two-storey outrigger to the side with square bay windows facing south.

- 2.2 The building has been subject of an application for a hip to gable enlargement and rear dormer extension, with recessed balcony within the roof. This was allowed on appeal following concerns relating to the size of the rear dormer extension (15/00490/FUL refers). A concurrent amended proposal (15/01313/FUL) incorporated a revised dormer design and was also approved.
- 2.3 Planning permission has recently been refused for alterations to existing roof and formation of roof garden to second floor (17/00850/FUL).
- 2.4 Woodfield Gardens is residential in character, comprising two storey semi-detached dwellings. Apart from the application site and the semi-detached dwelling to the north, which are of larger scale and marginally different design, the rest of the properties in the immediate streetscene are of a relatively consistent design and scale. Blocks of flats are also located to the south of the property, as are two-storey dwellings which face on to Grand Parade. The land slopes downwards to the south.

3 Planning Considerations

- 3.1 The key considerations of this application are the principle of the development, design and impact on the character of the area and impact on residential amenity.

4 Appraisal

Principle of Development

National Planning Policy Framework, Policies KP1, KP2 and CP4 of the Core Strategy (2007), Policies DM1 and DM3 of the Development Management Document (2015) and advice contained within the Design and Townscape Guide (2009)

- 4.1 The dwelling is located within a residential area. An extension or alteration to the property to provide additional living accommodation is considered acceptable in principle. Other material planning considerations are discussed below.

Design and Impact on the Character of the Area

National Planning Policy Framework, Policies KP2 and CP4 of the Core Strategy (2007), Policies DM1 and DM3 of the Development Management Document (2015) and guidance contained within the Design and Townscape Guide (2009)

- 4.2 It should be noted that good design is a fundamental requirement of new development to achieve high quality living environments. Paragraph 56 of the NPPF states that *“good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people”*.
- 4.3 The importance of good design is reflected in Policies KP2 and CP4 of the Core Strategy and also in Policies DM1 and DM3 of the Development Management Document.

- 4.4 According to Policy KP2 of the Core Strategy new development should “*respect the character and scale of the existing neighbourhood where appropriate*”. Policy CP4 of the Core Strategy requires that development proposals should “*maintain and enhance the amenities, appeal and character of residential areas, securing good relationships with existing development, and respecting the scale and nature of that development*”.
- 4.5 Policy DM1 of the Development Management Document states that all development should “*add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features*”.
- 4.6 Policy DM3 advises that “*Alterations and additions to a building will be expected to make a positive contribution to the character of the original building and the surrounding area through:*
(i) The use of materials and detailing that draws reference from, and where appropriate enhances, the original building, and ensures successful integration with it; and
(ii) Adopting a scale that is respectful and subservient to that of the original building and surrounding area; and
(iii) Where alternative materials and detailing to those of the prevailing character of the area are proposed, the Council will look favourably upon proposals that demonstrate high levels of innovative and sustainable design that positively enhances the character of the original building or surrounding area”.
- 4.7 The Design and Townscape Guide also states that “*the Borough Council is committed to good design and will seek to create attractive, high-quality living environments*”.
- 4.8 Paragraph 366 of The Design and Townscape Guide advises that “*proposals for additional roof accommodation within existing properties must respect the style, scale and form of the existing roof design and the character of the wider townscape*”.
- 4.9 The gable has been infilled with slate grey “Hardie plank” cladding and slate-grey glazing and door frames. The glazing extends to the roof apex.
- 4.10 While the slate grey contrasts with the red roof tiles, white verges and rendered walls, it is neutral in appearance and of a quality finish. It distinguishes the roof gable from the remainder of the building and lends it a low visual profile.
- 4.11 It is considered that a matching material would have a higher visual profile, while the grey Hardie plank and glazing are akin to the void which would be apparent if the originally approved scheme with a recessed balcony had been implemented.
- 4.12 Therefore, while the materials do not match those on the existing building, it is considered on balance that they are appropriate to the context and do not materially harm the character and appearance of the original building, having regard to the development already approved.

Impact on Residential Amenity

National Planning Policy Framework, Policies KP2 and CP4 of the Core Strategy (2007), Policies DM1 and DM3 of the Development Management Document (2015) and guidance contained within the Design and Townscape Guide (2009)

- 4.13 Policy DM1 of the Development Management Document requires all development to be appropriate in its setting by respecting neighbouring development and existing residential amenities *“having regard to privacy, overlooking, outlook, noise and disturbance, sense of enclosure/overbearing relationship, pollution, daylight and sunlight.”* The Design and Townscape Guide also states that *“extensions must respect the amenity of neighbouring buildings and ensure not to adversely affect light, outlook or privacy of the habitable rooms in adjacent properties”*.
- 4.14 Paragraph 364 of The Design and Townscape Guide states that *“where new balconies are proposed on existing buildings, care needs to be taken to ensure that the design is of a high quality, of an appropriate style for the period of the property and that the privacy of neighbours is not compromised”*.
- 4.15 The windows and doors installed face in a south-south-westerly direction from the same position as the balcony balustrade which had been previously approved as part of the roof extension. At present a secondary hipped, ridged roof is situated immediately in front of the glazed doors. This arrangement is unchanged from the arrangement shown on the plans approved in application 15/01313/FUL and on appeal further to application 15/00490/FUL. As in those cases, the glazed doors are situated approximately 43m from the rear wall of the neighbouring properties to the south and 18.4m from the boundaries of their rear gardens.
- 4.16 It is noted that, when considering the appeal in relation to application 15/00490/FUL, the inspector stated:
- “I note the comments in terms of the living conditions of nearby neighbours and the potential for overlooking. However, given the distances between the development and openings at nearby dwellings and the angles involved, I see no reason not to concur with the Council’s assessment that there would not be material harm in this respect from the proposal. “*
- 4.17 The alteration as carried out encloses the balcony into a space fully integrated with the rest of the living accommodation, rather than an outdoor balcony. This may allow for potentially longer ‘dwell times’ and use through the seasons, as the use of the area would not be dictated by weather patterns. It also enlarges the space back into the building from which views may be taken, potentially accommodating more people than the narrower approved balcony. At the same time, however, the glazed area which affords outward views in the manner of a balcony is narrower than the approved balcony. Additionally, the area thus enclosed within the dwelling is a landing rather than a habitable room. The approved balcony was to be 4.1m in width, while the panel of glazed doors is 3m in width.

- 4.18 It has been established in application 15/001313/FUL and the above-noted appeal decision that the distance between the approved development including the balcony and the most directly-affected residential properties was sufficient to preclude a significant loss of privacy resulting to nearby occupiers including those at Grand Parade. The glazed screen would be the same distance from all nearby receptors, including Grand Parade, as the balcony. It follows that the distance would continue to be sufficient as to avoid a material loss of privacy, notwithstanding the different characteristics of the use of the area in either proposal. It is considered on this basis that a refusal of planning permission for any overlooking that might arise would be unreasonable. Additionally in the case of the proposal under consideration, the screen would be narrower than the balcony, and potential views thereby more curtailed. This would further reduce the opportunity for views available from the room.
- 4.19 It is therefore considered that the proposal would not have a greater effect on the privacy of nearby occupiers than the approved scheme, and would thus maintain the amenities of residents.
- 4.20 It is noted that the submitted plans show three glazed doors to the flank rather than fixed panes. The use of any part of the roof as a terrace or balcony would require a grant of planning permission. No explanation has been offered as to the intentions for the doors. At the present time there would appear to be no scope to access the adjacent secondary roof other than for storage access, maintenance or emergency. Additionally, a set of opening doors would allow for ventilation during warm weather.
- 4.21 A condition on any planning permission for the development has been considered. Any condition should meet the six tests for planning conditions set out in the National Planning Policy Framework. Paragraph 206 of the NPPF states "Planning conditions should only be imposed where they are:
- 1.necessary;
 - 2.relevant to planning and;
 - 3.to the development to be permitted;
 - 4.enforceable;
 - 5.precise and;
 - 6.reasonable in all other respects."
- 4.22 It is considered that limiting the ability to open the doors would be unreasonable. Given the need for planning permission to form a balcony or roof terrace a condition with respect to this would be unnecessary. A condition to simply restrict egress from the doors would be unenforceable. It is considered reasonable that the development should be granted planning permission with the ability to open the doors.
- 4.23 It is considered that the development would maintain neighbour amenities and would be consistent with the above-noted development plan policies.

5 Conclusion

- 5.1 The principle of extending and altering the building is acceptable. On balance it is found that the design is appropriately sympathetic and respectful to the character of the original building, maintaining the visual amenities of the wider area. The development does not lead to a significant loss of privacy to neighbouring occupiers, maintaining the amenities, character and quality of the residential environment. The application is therefore recommended for approval.

6 Planning Policy Summary

- 6.1 The National Planning Policy Framework (2012) : Section 7 (Requiring Good design)
- 6.2 Development Plan Document 1: Core Strategy Policies KP2 (Development Principles) and CP4 (Environment & Urban Renaissance)
- 6.3 Development Management DPD 2015: DM1 (Design Quality) and DM3 (Efficient and Effective Use of Land)
- 6.4 Supplementary Planning Document 1: Design & Townscape Guide (2009)
- 6.5 CIL Charging Schedule 2015

7 Representation Summary

Leigh Town Council

- 7.1 No objections confirmed.

Design and Regeneration

- 7.2 No comment received.

Public Consultation

- 7.3 Seventeen neighbours were notified and two letters of objection have been received, as follows:

- Applicant may build a roof garden at later date;
- Proposal is different to what has been approved, and has been built;
- Proposal would not have been approved in this form;
- Overlooking and loss of privacy;
- The scale of the proposal is beyond the earlier approval and dominates the gable end;
- Effectively a much deeper balcony than under the approved scheme;
- Anomalous appearance of the outrigger roof following the formation of balcony;
- Questions the potential for further alterations relating to the outrigger roof;
- 'Grandstand' view of no.53 Grand Parade and neighbours;
- Visual balance between the conjoined properties is damaged;

- The proposal conflicts with the conditions imposed by an earlier planning appeal decision.
[Officer comment: These concerns are noted and they have been taken into account in the assessment of the application. However, they are not found to represent a reasonable basis to refuse planning permission in the circumstances of this case].

8 Relevant Planning History

- 8.1 17/00850/FUL - Alter existing roof and form roof garden to second floor. Refused.
- 8.2 15/01313/FUL - Form pitched roof extension with dormers to rear and recessed balcony to side (Amended Proposal). Approved.
- 8.3 15/00490/FUL - Form pitched roof extension with dormers to rear and recessed balcony to side. Appeal allowed.

9 Recommendation

GRANT PLANNING PERMISSION subject to the following conditions:

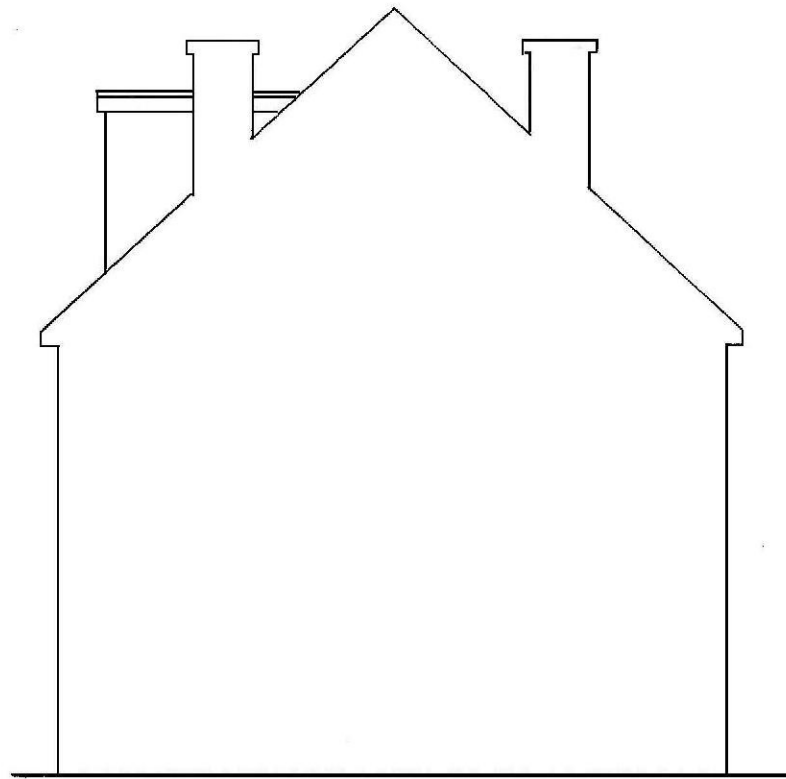
- 01 The development hereby permitted shall be retained in accordance with the following approved plans: 15/26 No.1 A; 15/26 No.3 (2) A.**

Reason: In the interests of visual amenities, pursuant to the National Planning Policy Framework, Policies KP2 and CP4 of the Core Strategy 2007 and Policies DM1 and DM3 of the Development Management Document 2015.

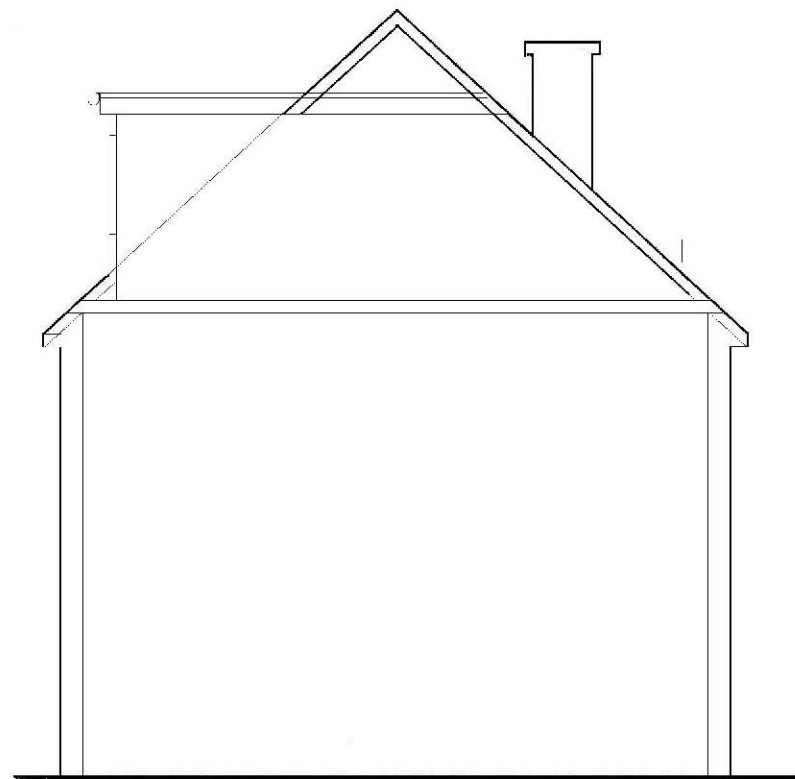
The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.



PROPOSED REAR ELEVATION

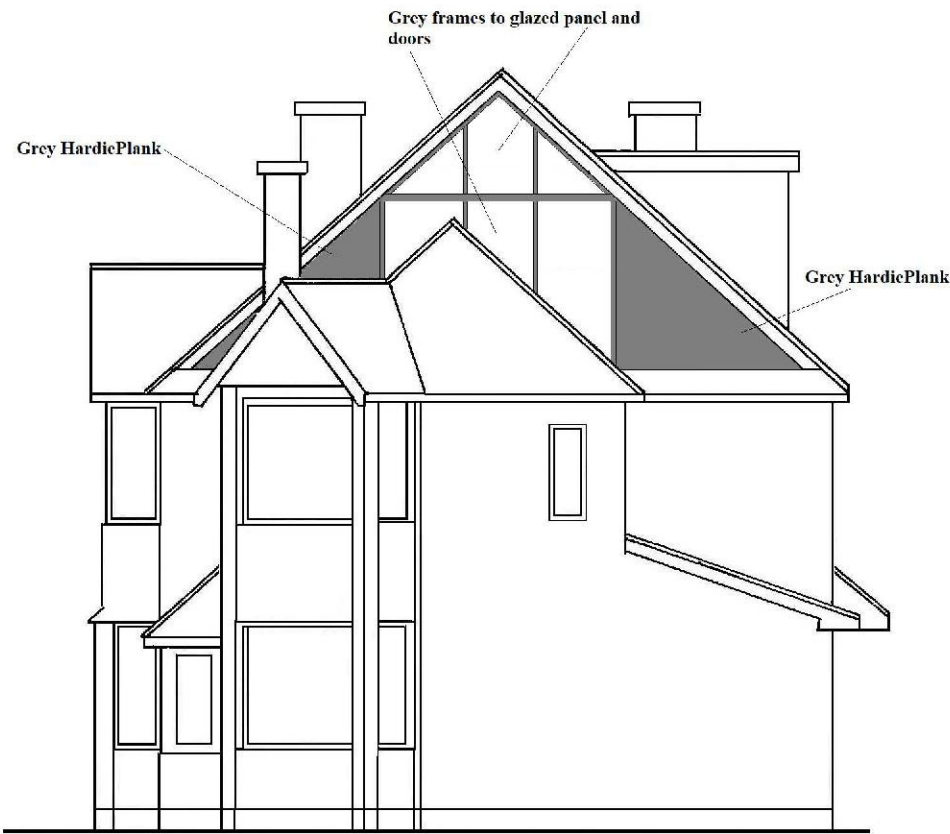


PROPOSED SIDE ELEVATION



PROPOSED SECTION

197




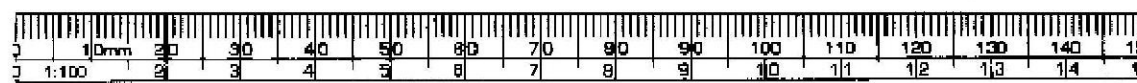
PROPOSED SIDE ELEVATION



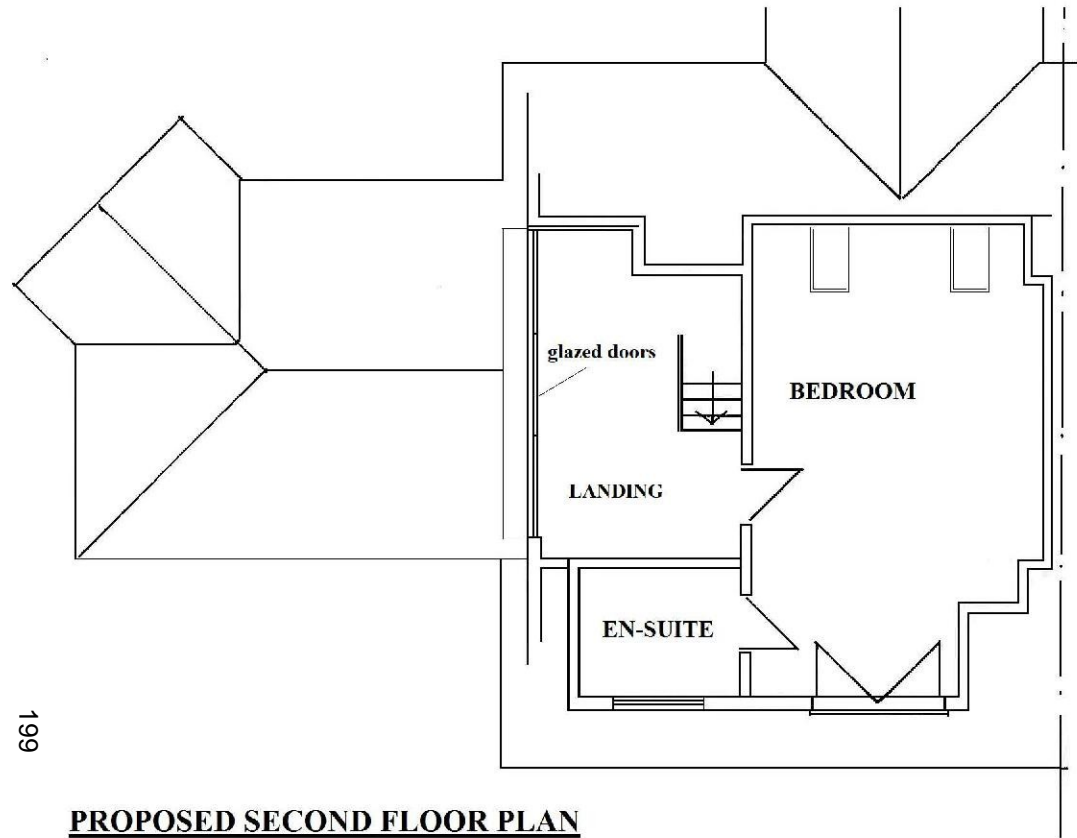
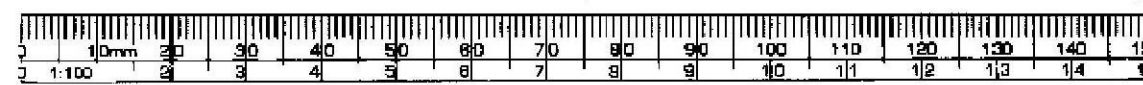
PROPOSED FRONT ELEVATION

APPLICATION FOR NON-MATERIAL AMENDMENT
FOLLOWING GRANT OF PLANNING PERMISSION
15/01313/FUL

PROPOSAL:- ROOF EXTENSIONS	
ADDRESS:- 22a WOODFIELD GARDENS, LEIGH	
CLIENT:- KAREN DALY	
D. M. GREEN Dip (Bldg Man.), L.C.C.O.B., M.R.I.C.S.	
TITLE:- PROPOSED ELEVATIONS	
JOB No:- 15/26	DRAWING No 1 A
SCALE:- 1:100 @ A3	DATE:- AUG 15 amended Sep 17
	

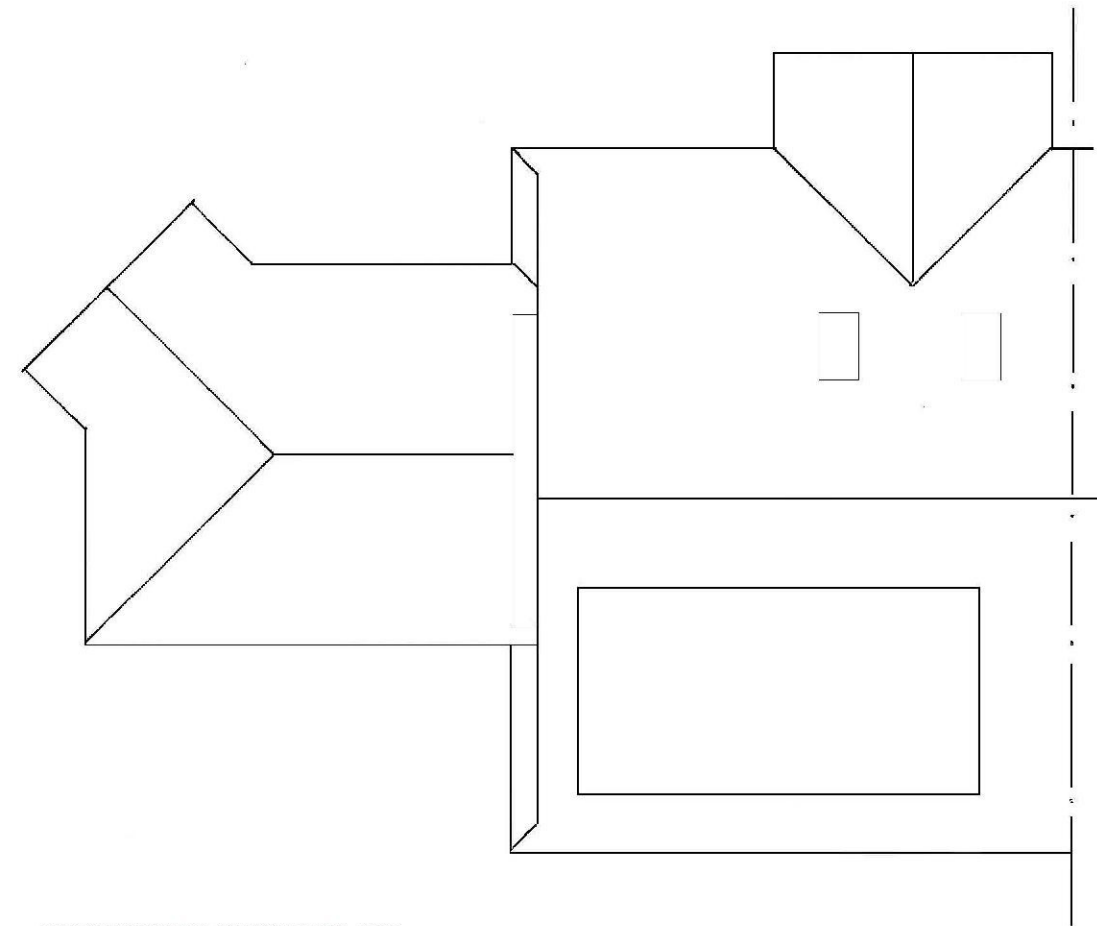


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PROPOSED SECOND FLOOR PLAN

199



PROPOSED ROOF PLAN

APPLICATION FOR NON-MATERIAL AMENDMENT
FOLLOWING GRANT OF PLANNING PERMISSION
15/01313/FUL

PROPOSAL:- ROOF EXTENSIONS	
ADDRESS:- 22a WOODFIELD GARDENS, LEIGH	
CLIENT:- KAREN DALY	
D. M. GREW Dip Bldg Man., L.C.C.O.B., M.R.I.C.S.	
TITLE:- EXISTING AND PROPOSED FLOOR PLANS	
JOB No. 15/26	DRAWING No 3(2) A
SCALE: 1:100 @ A3	DATE - AUG 15 redrawn Sept 17
	

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Reference:	17/01730/FULH	<h1>11</h1>
Ward:	West Leigh	
Proposal:	Erect hipped to gable roof extension, install dormers sides and roof lights to side and front (Amended Proposal)	
Address:	71 Marine Parade, Leigh-On-Sea	
Applicant:	Martin Gibbson	
Agent:	A9 Architecture	
Consultation Expiry:	01.11.2017	
Expiry Date:	15.12.2017	
Case Officer:	Kara Elliott	
Plan Nos:	761-07ii, 761-05A, 761-06I, 761-04B, 761-03A, 761-02, 761F, 761-00	
Recommendation:	GRANT PLANNING PERMISSION subject to conditions	



1 The Proposal

- 1.1 Planning permission is sought to erect a hip to gable roof extension to the rear with the insertion of four pitched roof dormers (two on each side of the dwelling). A new window is proposed to the roof slope of the front elevation of the dwelling. Three Velux-style rooflights are proposed to the eastern roof slope.
- 1.2 The proposed alterations would provide accommodation in the roof of the dwelling, providing a further two bedrooms (6 in total) with en-suites.
- 1.3 The proposed dormers would be a maximum height of approximately 1.85 metres high and would be set approximately 1.35m from the eaves of the dwelling.
- 1.4 The development is proposed to be finished in painted render to the external walls with clay tiles for the roofs and black painted timber windows, all to match existing.
- 1.5 The proposed alterations would provide two additional bedrooms including en-suite facilities in the second floor of the dwelling.
- 1.6 This application forms a resubmission of a previously refused scheme (16/01418/FULH). The previously refused scheme proposed to raise the ridge height of the dwelling and erect a hip to gable roof extension to the front and rear with dormers to the sides and a balcony to the front. The application was refused for the following reason:
 1. The proposed alterations to the scale and form of the roofscape would be prominent and unsympathetic features to the detriment of the appearance of the existing property and the character of the area.

2 Site and Surroundings

- 2.1 The application site is located in a prominent corner location to the south of Marine Parade. Harley Street is to the west and Herschell Road is to the east. The site is occupied by a large detached two storey property of a unique Arts and Crafts style with a number of decorative elements such as the large first floor timber jettied window, exposed timber rafters to the eaves, hipped clay tile roof and tall feature chimneys with brickwork decoration.
- 2.2 The surrounding area is residential in character consisting of large family houses with an eclectic mix of designs, mainly built between the 1920s and 1940s.
- 2.3 The site is not the subject of any site specific policy designations, is not a listed building and is not located within a Conservation Area.

3 Planning Considerations

- 3.1 The key considerations in relation to this application are the principle of the development, design and impact on the character of the area, any traffic and transport issues, impact on residential amenity, CIL contributions and whether the proposed development overcomes the previous reason for refusal.

4 Appraisal

Principle of Development

NPPF; Core Strategy (2007) Policies KP2 and CP4; Development Management Document (2015) Policies DM1 and DM3.

- 4.1 The principle of extending the dwelling to provide facilities in association with residential accommodation is considered acceptable. Other material planning considerations are discussed below.

Design and Impact on the Character of the Area

NPPF; Core Strategy (2007) Policies KP2 and CP4; Development Management Document (2015) Policies DM1 and DM3; Design & Townscape Guide (2009)

- 4.2 It should be noted that good design is a fundamental requirement of new development to achieve high quality living environments. Its importance is reflected in the NPPF (National Planning Policy Framework), in Policies KP2 and CP4 of the Core Strategy and also in Policy DM1 of the Development Management Document. The Design and Townscape Guide also states that; *“the Borough Council is committed to good design and will seek to create attractive, high-quality living environments.”*
- 4.3 Paragraph 56 of the NPPF states that; *“good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”*
- 4.4 Policy DM1 of the Development Management DPD states that all development should; *“add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features”.*
- 4.5 Paragraph 366 of The Design and Townscape Guide states that; *“proposals for additional roof accommodation within existing properties must respect the style, scale and form of the existing roof design and the character of the wider townscape. Dormer windows, where appropriate, should appear incidental in the roof slope (i.e. set in from both side walls, set well below the ridgeline and well above the eaves). Large box style dormers should be avoided, especially where they have public impact, as they appear bulky and unsightly. Smaller individual dormers are preferred.”*
- 4.6 The previously refused scheme noted that there is no objection in principle to some form of accommodation within the roof. However, it was expressed that the existing height and hipped front of the dwelling should be maintained.
- 4.7 The proposed rear hip to gable extension, pitched roof dormers and rooflights are considered to provide roof accommodation in such a way that it is subservient to the floors below and not overly dominant to the character of the dwelling and those within the wider area. Furthermore, the proposed development would not appear out of keeping in this area. Roof extensions and dormer windows are found on corner properties of the junctions of Marine Parade and Theobalds Road, Salisbury Road and Vernon Road.

- 4.8 Whilst no examples are found within the immediate vicinity of the site, the proposed dormers are of a subservient size, would not dominate the roofscape and do not result in a negative appearance cumulatively as they are set proportionally apart. The round windows to the side cheeks of the dormers provide interest and whilst is not an existing feature of the dwelling, due to their location and small scale, would not detract from the character and appearance of the existing arrangement and design of fenestration.
- 4.9 The rooflights to the east side of the roof slope as well as to the front, due to their location on the roof and non-protruding nature, provide sympathetic openings which will not be duly prominent in the streetscene.
- 4.10 The resulting dwelling, whilst of an increase size, scale and bulk, would not appear overly dominant and would not result in demonstrable harm to the character and appearance of the dwelling or the wider area, in accordance with relevant location and national policies and guidance.

Impact on Residential Amenity

NPPF; Development Management Document (2015) Policies DM1 and DM3; Core Strategy (2007) Policies KP2 and CP4; Design & Townscape Guide (2009)

- 4.11 Policy DM1 of the Development Management DPD requires all development to be appropriate in its setting by respecting neighbouring development and existing residential amenities *“having regard to privacy, overlooking, outlook, noise and disturbance, sense of enclosure/overbearing relationship, pollution, daylight and sunlight.”*
- 4.12 Given the west flank elevation of the application property is sited along Harley Street some 17 metres away, it is considered the proposed pitched roof dormers to this elevation would not be overbearing, would not result in a sense of enclosure or loss of light for the occupants of surrounding properties and would not result in demonstrable harm through perceived or actual overlooking or loss of privacy.
- 4.13 The dormers to the flank elevation facing no.70 to the east would directly overlook windows to the western flank of no.70. However, as these windows are secondary it is considered that conditions can reasonably be used to require the use of obscure glazing to prevent a loss of privacy and overlooking for the occupants of No. 70.
- 4.14 It should also be noted that no objection was raised in relation to impacts upon any neighbouring occupier at the time of the previous application, which proposed a larger catslide dormer which would have been located adjacent to no.70.

Highways and Transport Issues

NPPF; Development Management (2015) Policy DM15; Core Strategy (2007) Policy CP3; Design & Townscape Guide (2009)

- 4.15 Policy DM15 of the Development Management DPD states that new development will only be permitted if it makes provision for off-street parking in accordance with the adopted vehicle parking standards. For a dwelling of two or more bedrooms, a minimum of two off-street parking spaces should be available.

- 4.16 The proposed development would result in an additional two bedrooms, resulting in a total of six. The proposal would not result in the loss of existing parking spaces. Two off-street parking spaces would continue to be available within the curtilage of the property and therefore no objection is raised on highway or parking grounds.

Community Infrastructure Levy

CIL Charging Schedule 2015

- 4.17 The proposed development equates to less than 100sqm of new floorspace. As such, the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and no charge is payable.

5 Conclusion

- 5.1 Having regard to all material considerations assessed above, it is considered that subject to compliance with the attached conditions, the proposed development would be acceptable and compliant with the objectives of the relevant local development plan policies and guidance as well as those contained within the National Planning Policy Framework. Furthermore, the proposed development would have an acceptable impact on the amenities of neighbouring occupiers and the character and appearance of the application site and the locality more widely. The proposal would not result in any adverse impact on parking provision or highways safety. This application is considered to have overcome the previous reason for refusal and is recommended for approval, subject to conditions.

6 Planning Policy Summary

- 6.1 The National Planning Policy Framework (2012)
- 6.2 Core Strategy (2007) Policies KP2 (Development Principles), CP3 (Transport and Accessibility) and CP4 (Environment & Urban Renaissance)
- 6.3 Development Management Document (2015): DM1 (Design Quality), DM3 (Efficient and Effective Use of Land) and DM15 (Sustainable Transport Management)
- 6.4 Design & Townscape Guide (2009)
- 6.5 CIL Charging Schedule 2015

7 Representation Summary

Leigh Town Council

- 7.1 Objects. Comments: *"The application in our view is contrary to Development Management Document 2015 policies DM1 and DM3 as the development will not add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach as it is considered an overdevelopment due to the increase in the bulk and scale of the building. It does not contribute positively to the space between buildings and their relationship to the public realm.*

Furthermore the alterations in our opinion do not make a positive contribution to the character of the original building and the surrounding area as it has not adopted a scale that is respectful and subservient to that of the original building and surrounding area.”

Public Consultation

- 7.2 13 neighbours have been notified of the application. 10 letters of representation have been received (7 supporting, 3 objecting).

Comments in support of the application:

- Wholly in keeping with the local environment and nearby houses;
- Consistent with other houses which have been extended.

Comments in objection to the application;

- Property has already been extended considerably;
- Overdevelopment;
- Dormers would create an over-dominant building in corner location;
- Detrimental to the general appearance of the streetscene and neighbouring properties;
- Traditional ‘Goldworthy’ design which would be harmed as a result of the proposed development;
- Car parking and highway impacts;
- Bulk unacceptable;
- Design unacceptable

- 7.3 Officer Comment: These concerns are noted and they have been taken into account in the assessment of the application. However, they are not found to represent a reasonable basis to refuse planning permission in the circumstances of this case.

- 7.4 The application falls to be considered by the Development Control Committee at the request of Councillor Bernard Arscott.

8 Relevant Planning History

- 8.1 02/01205/FUL – Erect part single/part first floor/part two storey extension at rear incorporating garage with pitched roof –Granted
- 8.2 16/01084/FULH – Erect hip to gable to form habitable accommodation, install roof extension and two dormers to side elevations –Withdrawn
- 8.3 16/01418/FULH - Raise ridge height and erect hip to gable roof extension to front and rear with dormers to sides and balcony to front - Refused

9 Recommendation

Members are recommended to:

GRANT PERMISSION, subject to the following conditions:

- 01** The development hereby permitted shall begin no later than three years from the date of this decision.

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

- 02** The development hereby permitted shall be carried out in accordance with the following approved plans: 761-07ii, 761-05A, 761-06l, 761-04B, 761-03A, 761-02, 761F, 761-00

Reason: To ensure that the development is carried out in accordance with the provisions of the Development Plan.

- 03** All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings hereby approved or are required by conditions to this permission.

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is as set out in the National Planning Policy Framework (NPPF), Core Strategy 2007 Policies KP2 and CP4, Development Management Document Policy DM1, and guidance within the Design and Townscape Guide (2009).

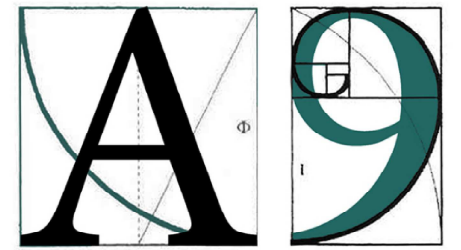
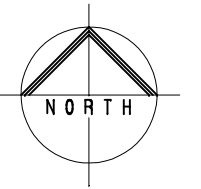
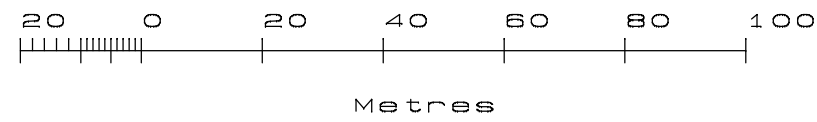
- 04** The proposed windows to the dormers in the east elevation as hereby permitted shall only be glazed in obscure glass (the glass to be obscure to at least Level 4 on the Pilkington Levels of Privacy, or such equivalent as may be agreed in writing with the local planning authority) and fixed shut, except for any top hung fan light which shall be a minimum of 1.7 metres above internal floor level and shall be maintained as such thereafter unless otherwise agreed in writing by the local planning authority. In the case of multiple or double glazed units at least one layer of glass in the relevant units shall be glazed in obscure glass to at least Level 4.

Reason: To protect the privacy and environment of people in neighbouring residential properties, in accordance with the National Planning Policy Framework (NPPF), Core Strategy (2007) policy CP4, Development Management Document (2015) policy DM1 and guidance within the Design and Townscape Guide (2009).

Informative

1. You are advised that as the proposed development equates to less than 100sqm of new floorspace the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and as such no charge is payable. See www.southend.gov.uk/cil for further details about CIL.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.



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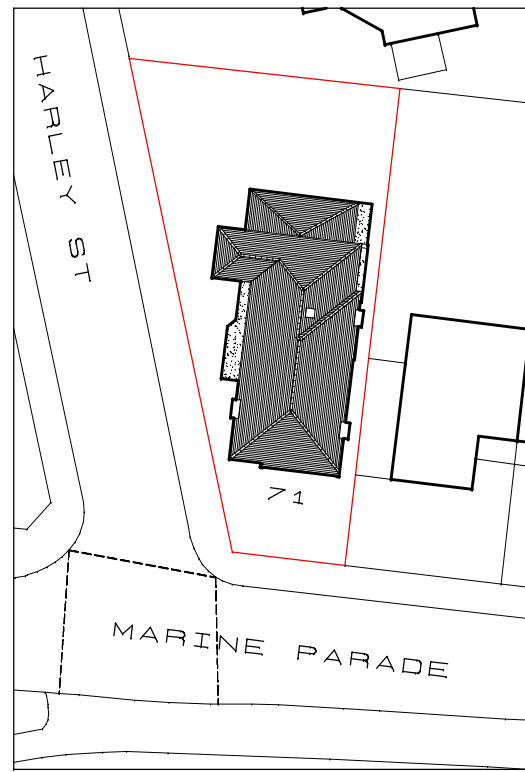
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Client:
 Martin Gibbons

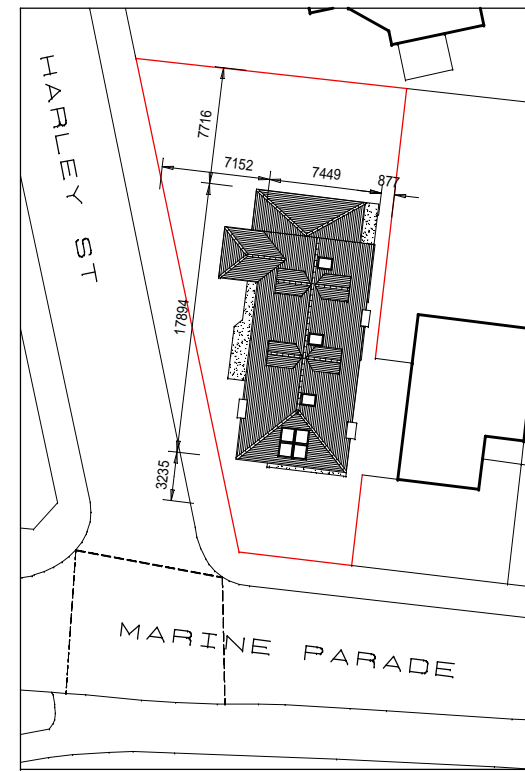
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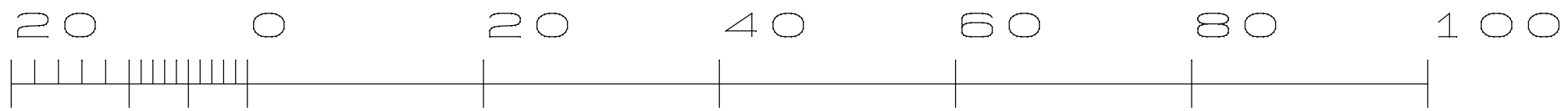
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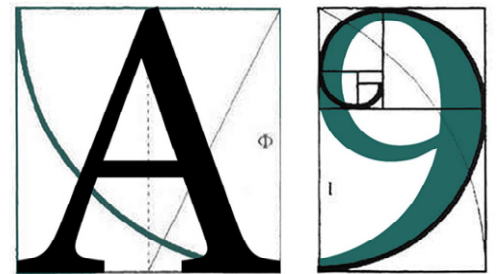
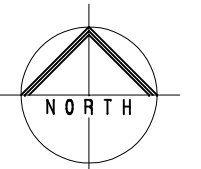
EXISTING SITE PLAN



PROPOSED SITE PLAN



Metres



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Drawing Title:

The Location Plan

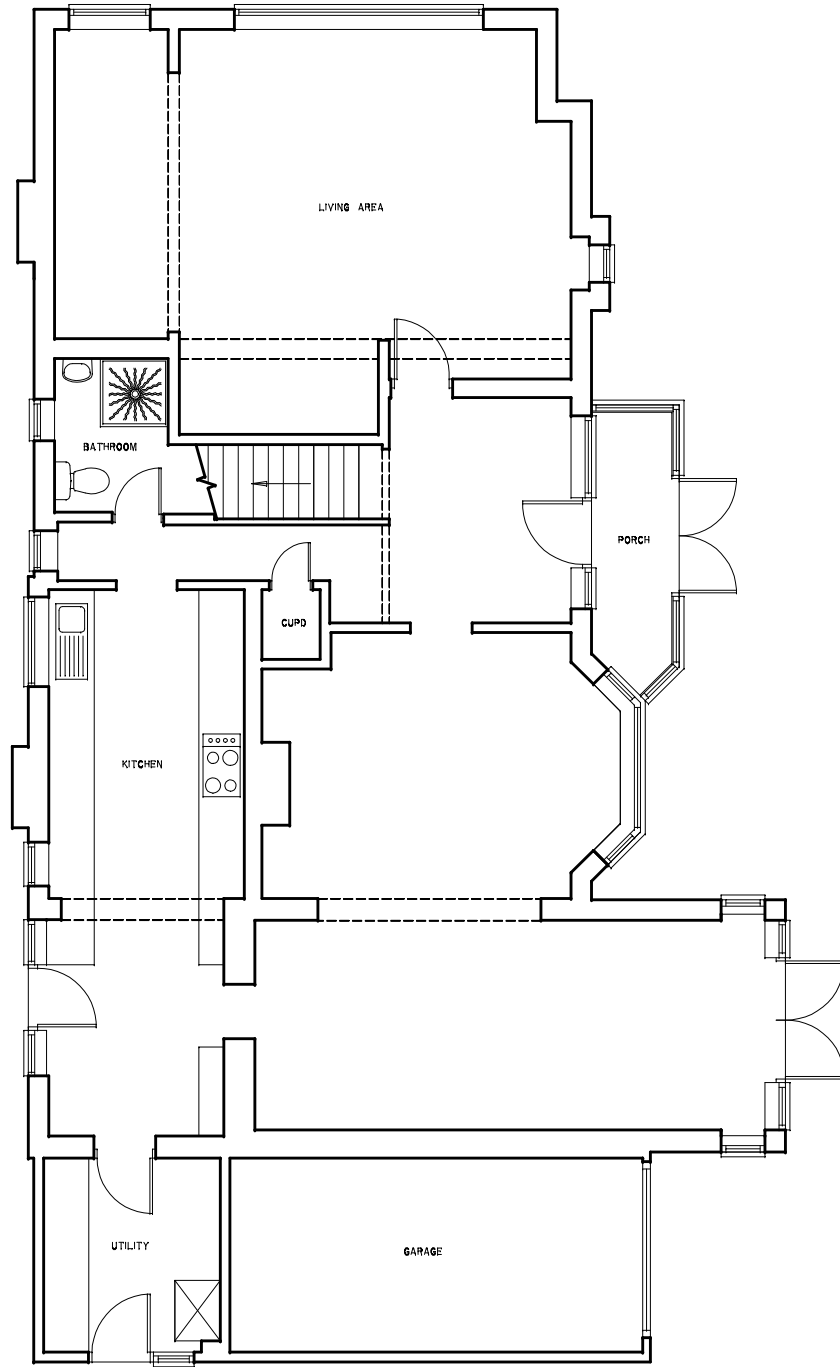
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Martin Gibbons

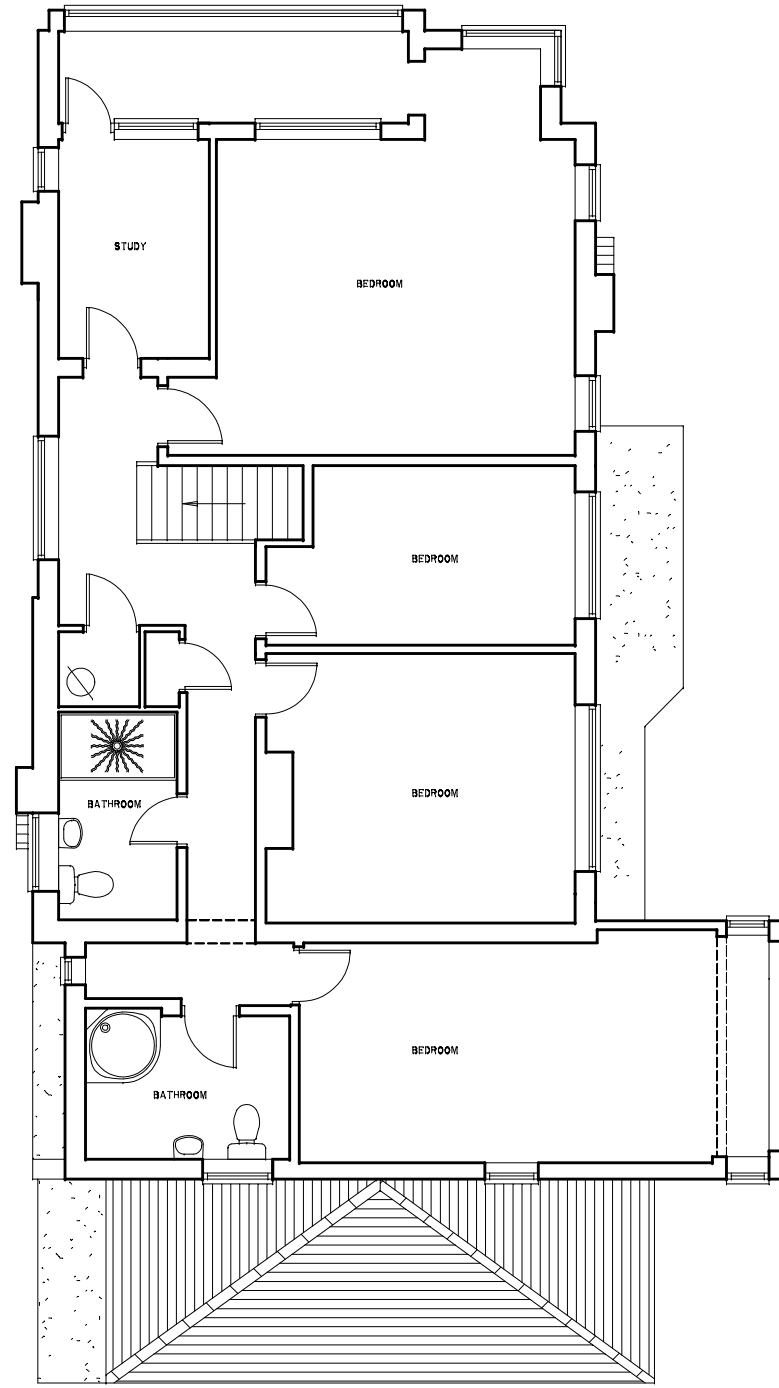
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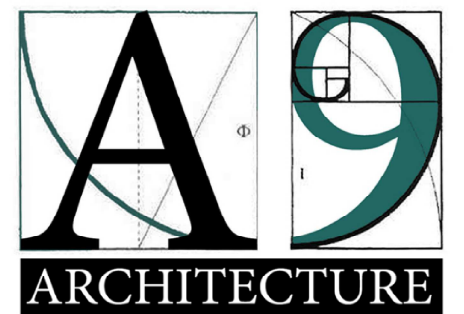
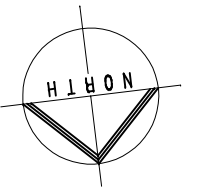
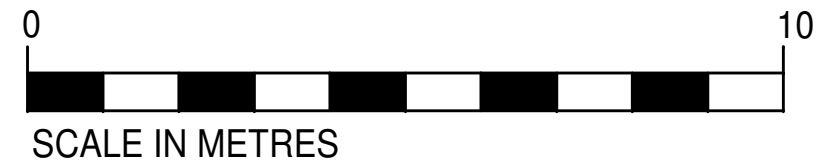
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GROUND FLOOR PLAN



FIRST FLOOR PLAN



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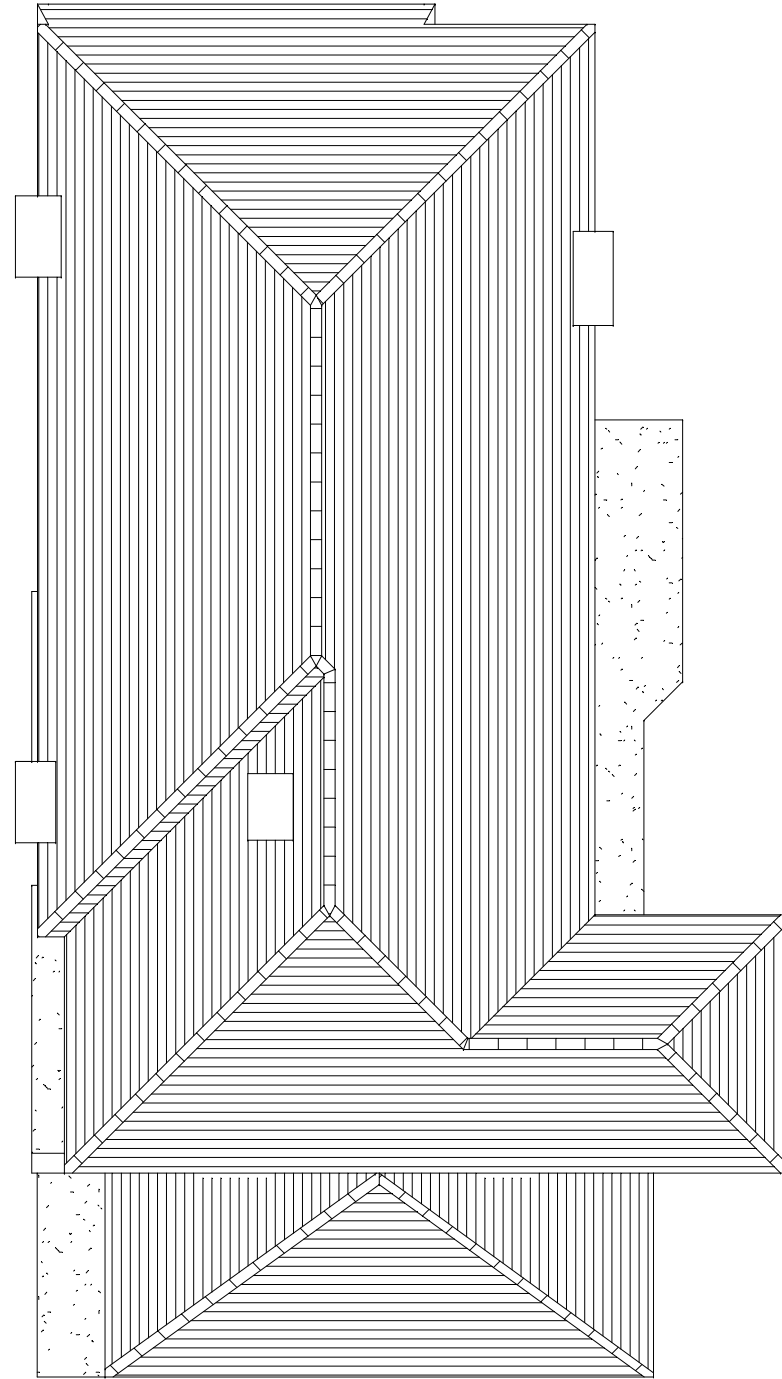
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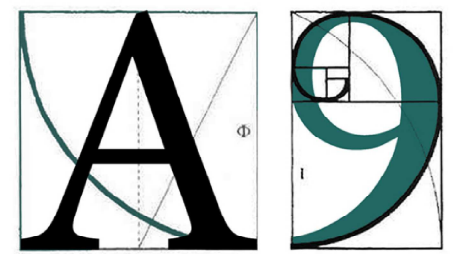
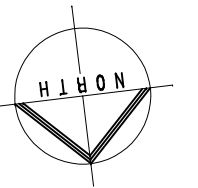
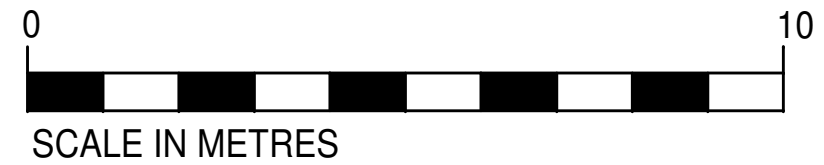
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 Martin Gibbons

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ROOF PLAN



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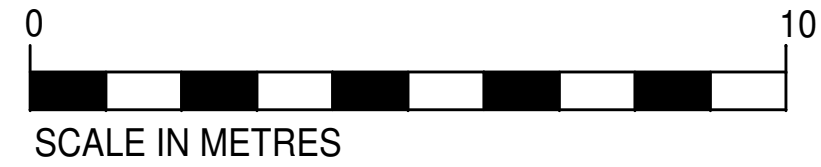
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SS92NQ

Drawing Title:
Existing Plans

Client:
Martin Gibbons

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FRONT ELEVATION



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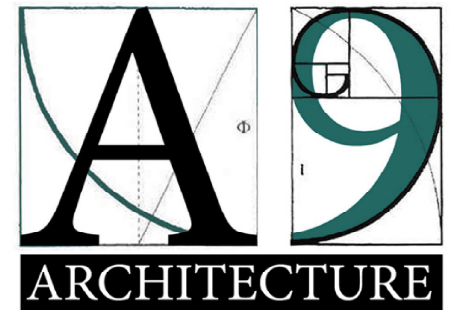


REAR ELEVATION



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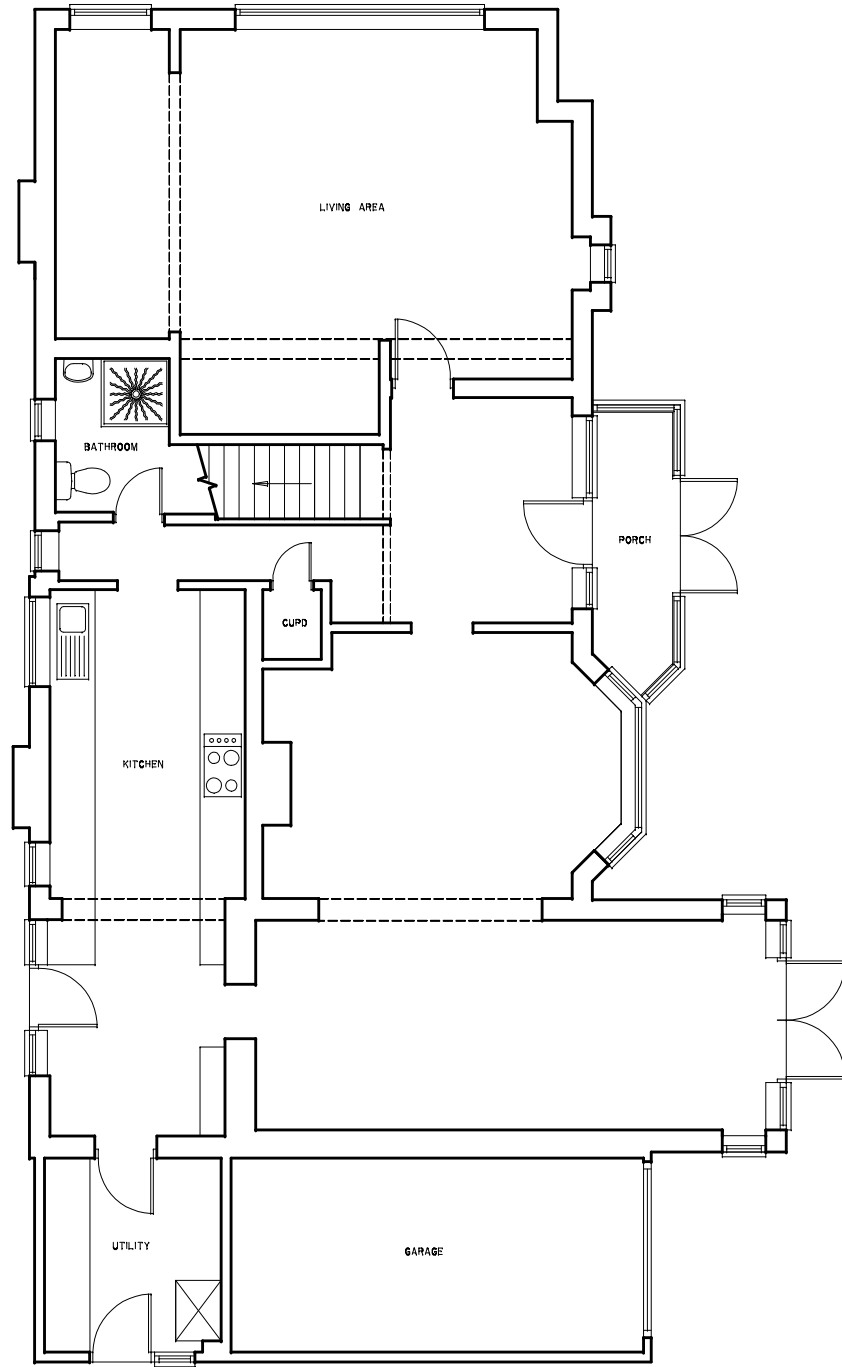
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Client:
Martin Gibbons

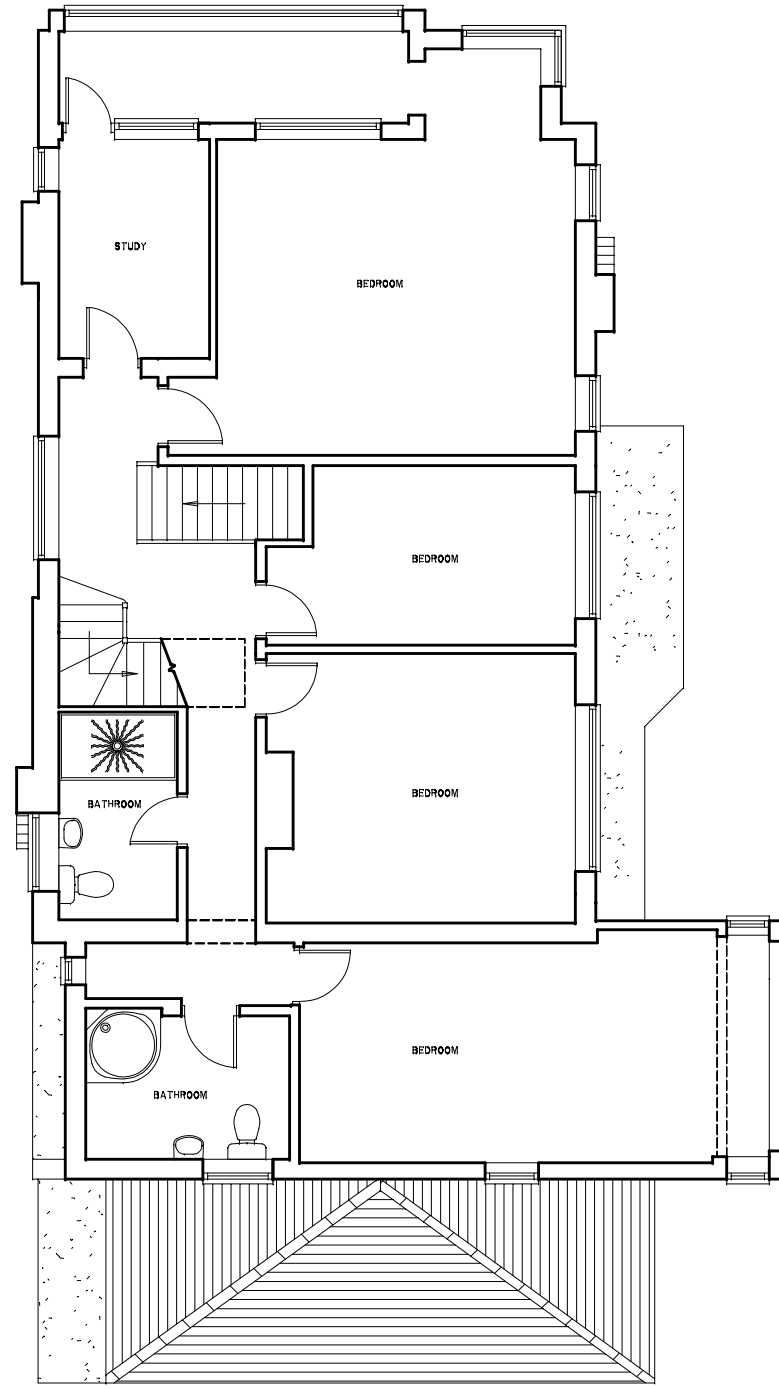
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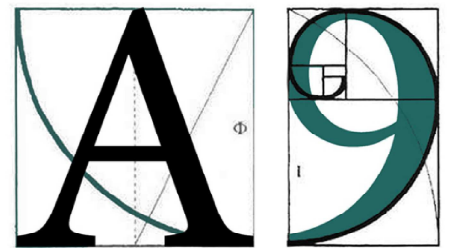
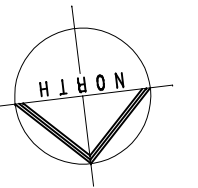
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GROUND FLOOR PLAN



FIRST FLOOR PLAN



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Project: 71 Marine Parade
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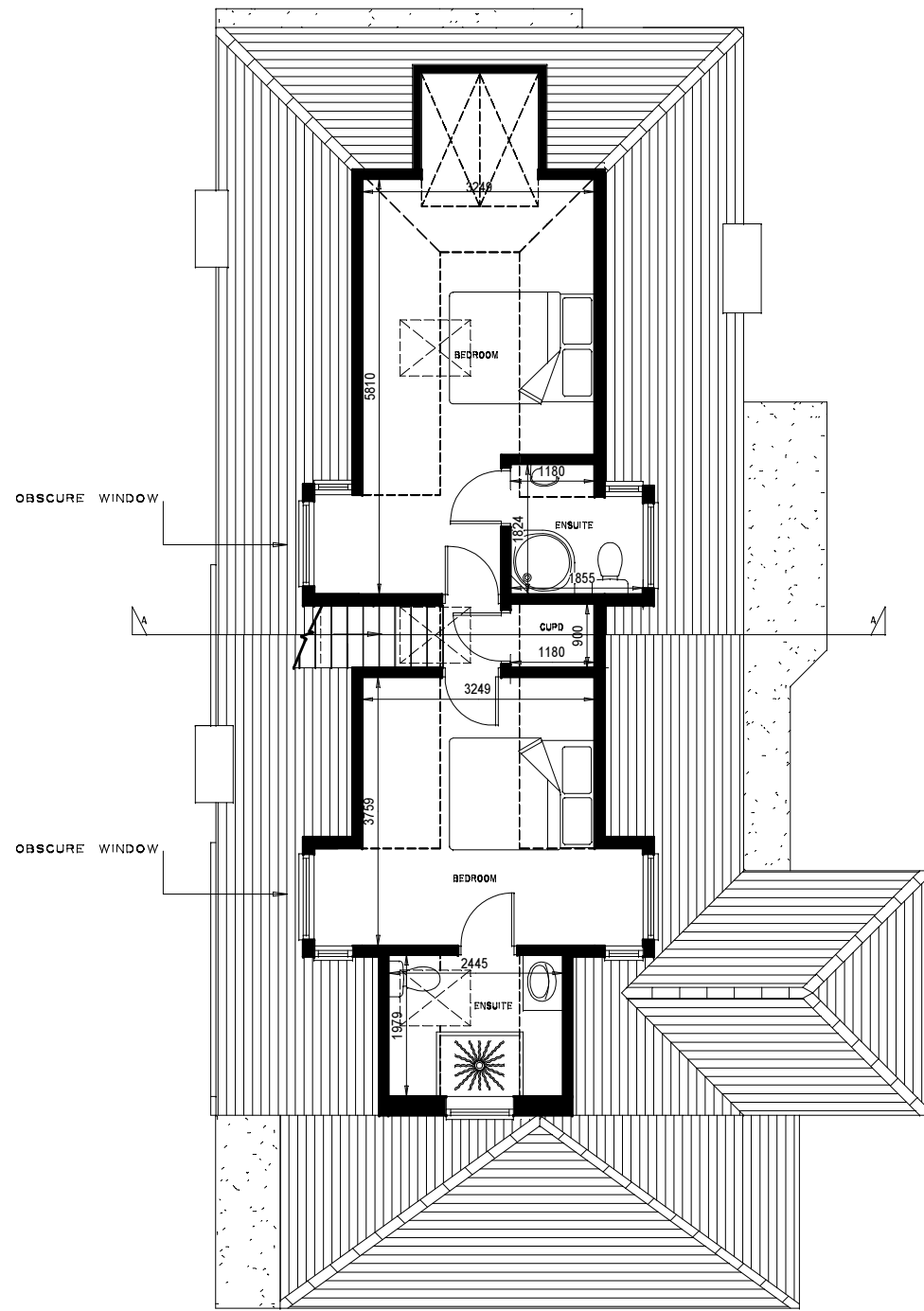
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Client: Martin Gibbons

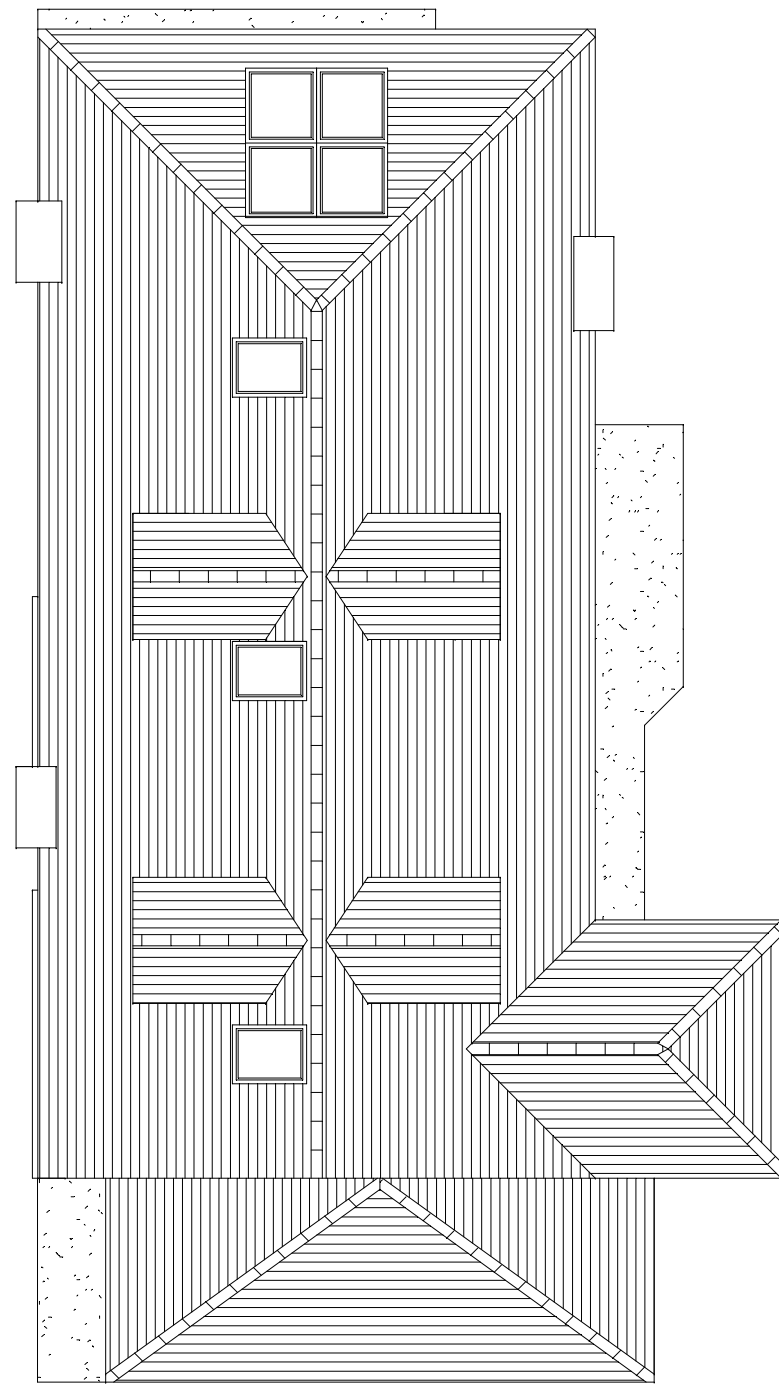
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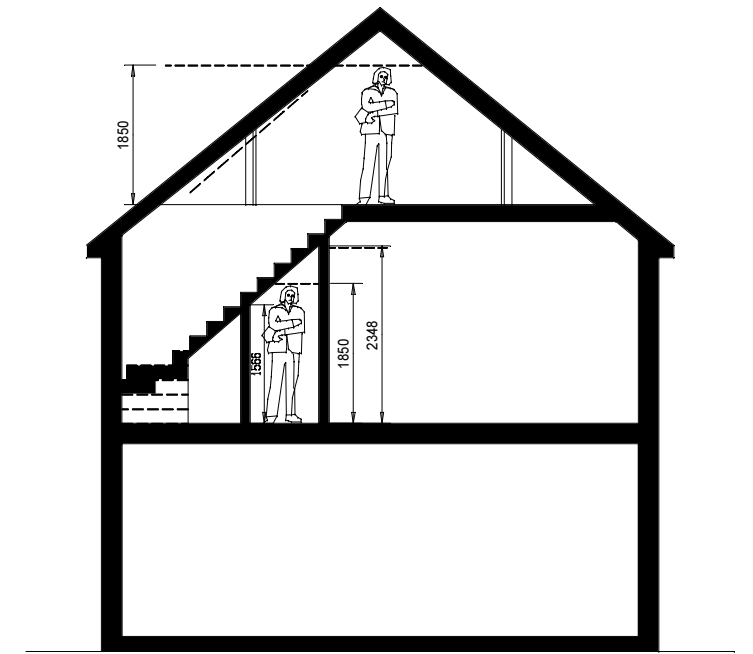
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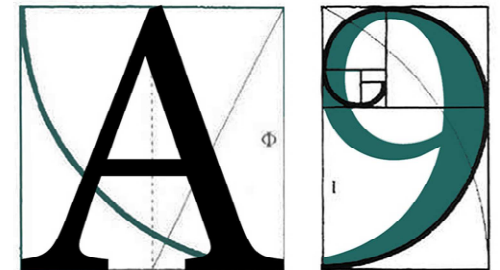
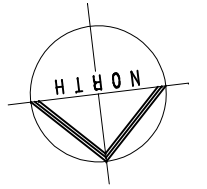
SECOND FLOOR PLAN



ROOF PLAN



SECTION A:A



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Project:
 71 Marine Parade
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 SS92NQ

Drawing Title:
 Proposed Plans- OPTION 1

Client:
 Martin Gibbons

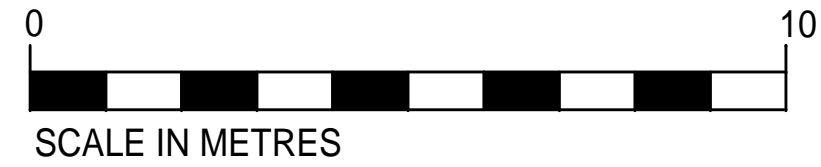
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SCALE IN METRES

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FRONT ELEVATION



FLANK ELEVATION

 OBSCURE

223



REAR ELEVATION



FLANK ELEVATION



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71 Marine Parade
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Drawing Title:
Proposed Elevations- OPTION 1

Client:
Martin Gibbons

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Reference:	17/01857/FULH	<h1>12</h1>
Ward:	Leigh	
Proposal:	Erect dormer to rear to form habitable accommodation in roof with roof lights to front	
Address:	34 Oakleigh Park Drive, Leigh-On-Sea	
Applicant:	Mr Alex Bushell	
Agent:	N/A	
Consultation Expiry:	29.11.2017	
Expiry Date:	18.12.2017	
Case Officer:	Kara Elliott	
Plan Nos:	Location plan, EX1, EX2, EX3, EX4, 17.06.200.PL, 17.06.201.PL, 17.06.202.PL, 17.06.203.PL, 17.06.204.PL, 17.06.205.PL, 17.06.206.PL, 17.06.207.PL	
Recommendation:	GRANT PLANNING PERMISSION subject to conditions	



1 The Proposal

- 1.1 Permission is sought to erect a flat-roof dormer to the rear of the dwelling to form habitable accommodation in the roof. The dormer would have full-height glazing to the east (rear) elevation, with the sides finished in zinc sheeting.
- 1.2 In addition, three rooflights are proposed to the front roof slope and one to the rear. Existing concrete tiles would be removed to the rear and the rear roof slope is proposed to be finished in plain tiles to match the existing front elevation.
- 1.2 The proposed dormer would measure approximately 2.3 metres high, 3.37 wide and would be set approximately 0.65 metres from the side of the dwelling to the north and approximately 1.95 metres from the south.
- 1.3 The proposed alterations would provide an additional two bedrooms (four in total).
- 1.4 The application falls to be considered by the Development Control Committee as the applicant is an employee of the Council.

2 Site and Surroundings

- 2.1 The application site is located on the eastern side of Oakleigh Park Drive, backing onto the rear of Leighton Avenue. The site is occupied by a terraced house with an average sized rear garden relative to the area.
- 2.2 The surrounding area is residential in character consisting primarily of two storey terraced properties some of which have roof lights in the front and rear elevations.
- 2.3 The site is not the subject of any site specific policy designations and is not located within a Conservation Area.

3 Planning Considerations

- 3.1 The key considerations in relation to this application are the principle of the development, design and impact on the character of the area, any traffic and transport issues and impact on residential amenity.

4 Appraisal

Principle of Development

NPPF; Core Strategy (2007) Policies KP2, CP3 and CP4; Development Management Document (2015) Policies DM1, DM3 and DM15.

- 4.1 The principle of extending the dwelling to provide facilities in association with residential accommodation is considered acceptable. Other material planning considerations are discussed below.

Design and Impact on the Character of the Area

NPPF; Core Strategy (2007) Policies KP2 and CP4; Development Management Document (2015) Policies DM1 and DM3; Design & Townscape Guide (2009)

- 4.2 It should be noted that good design is a fundamental requirement of new development to achieve high quality living environments. Its importance is reflected in the NPPF (National Planning Policy Framework), in Policies KP2 and CP4 of the Core Strategy and also in Policy DM1 of the Development Management DPD. The Design and Townscape Guide (SPD1) also states that; *“the Borough Council is committed to good design and will seek to create attractive, high-quality living environments.”*
- 4.3 Paragraph 56 of the NPPF states that; *“good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”*
- 4.4 Policy DM1 of the Development Management DPD states that all development should; *“add to the overall quality of the area and respect the character of the site, its local context and surroundings in terms of its architectural approach, height, size, scale, form, massing, density, layout, proportions, materials, townscape and/or landscape setting, use, and detailed design features”.*
- 4.5 Paragraph 366 of the Design and Townscape Guide (SPD1) under the heading of ‘Roof Extensions and Dormer Windows’ states *“Proposals for additional roof accommodation within existing properties must respect the style, scale and form of the existing roof design and the character of the wider townscape. Dormer windows where appropriate, should appear incidental to the roof slope (i.e. set in from both side walls, set well below the ridgeline and well above the eaves). The position of the new opening should correspond with the rhythm and align with existing fenestration on lower floors. (Note: one central dormer may also be of an appropriate alternative). The size of any new dormer windows, particularly on the front and side elevations, should be smaller to those on lower floors and the materials should be sympathetic to the existing property.”*
- 4.6 Oakleigh Park Drive is dominated by residential properties of two storey scale and similar designs, within a long terrace. Dormer windows, where appropriate, should appear incidental in the roof slope (i.e. set in from both side walls, set well below the ridgeline and well above the eaves). It is considered that due to its position on the roof, set in from the sides of the dwelling and its minor size, scale and bulk more generally, as well as the use of sympathetic materials i.e. large expanse of glazing, the proposed rear dormer would not dominate the roofscape and does not result in a demonstrable harm to the character and appearance of the dwelling or the wider area. It should also be noted that the proposed dormer to the rear would not be viewed from the public vista.
- 4.7 It is also considered that the rooflights to the front and rear and the use of plain clay tiles to the rear roof slope would not impact detrimentally to the character and appearance of the dwelling or the wider area due to their design and minor scale and size.

Impact on Residential Amenity

NPPF; Development Management Document (2015) Policies DM1 and DM3; Core Strategy (2007) Policies KP2 and CP4; Design & Townscape Guide (2009)

- 4.8 Policy DM1 of the Development Management DPD requires all development to be appropriate in its setting by respecting neighbouring development and existing residential amenities *“having regard to privacy, overlooking, outlook, noise and disturbance, sense of enclosure/overbearing relationship, pollution, daylight and sunlight.”*
- 4.9 Paragraph 343 of the Design and Townscape Guide (SPD1) under the heading of ‘Alterations and Additions to Existing Residential Buildings’ states, amongst other criteria, that *“extensions must respect the amenity of neighbouring buildings and ensure not to adversely affect light, outlook or privacy of the habitable rooms in adjacent properties.”*
- 4.10 The proposal would not be overbearing or result in a sense of enclosure or loss of light for the occupants of the adjacent occupiers due to its position of the roof of the dwelling. Furthermore, due to distances to neighbouring properties to the rear, the proposed addition would not give rise to undue impacts from overlooking or loss or privacy.

Highways and Transport Issues

NPPF; Development Management (2015) Policy DM15; Core Strategy (2007) Policy CP3; Design & Townscape Guide (2009)

- 4.11 Policy DM15 of the Development Management DPD requires that all development should meet the minimum off-street parking standards. Currently, the site does not benefit from off-street parking. The increase in bedrooms from three to four does not result in an increased requirement for parking and the majority of properties within this location (which have three or more bedrooms) do not benefit from off-street parking provision.
- 4.12 Thus, no objections are raised in relation to parking or highway safety impacts and a reason for refusal on this basis could not be justified.

Community Infrastructure Levy

CIL Charging Schedule 2015

- 4.13 The proposed development equates to less than 100sqm of new floorspace. As such, the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and no charge is payable.

5 **Conclusion**

- 5.1 Having regard to all material considerations assessed above, it is considered that subject to compliance with the attached conditions, the proposed development would be acceptable and compliant with the objectives of the relevant local development plan policies and guidance as well as those contained within the National Planning Policy Framework. Furthermore, the proposed development would have an acceptable impact on the amenities of neighbouring occupiers and the character and appearance of the application site and the locality more widely. The proposal would not result in any adverse impact on parking provision or highways safety. This application is therefore recommended for approval, subject to conditions.

6 **Planning Policy Summary**

- 6.1 The National Planning Policy Framework (2012)
- 6.2 Core Strategy (2007) Policies KP2 (Development Principles), CP3 (Transport and Accessibility) and CP4 (Environment & Urban Renaissance)
- 6.3 Development Management Document (2015): DM1 (Design Quality), DM3 (Efficient and Effective Use of Land) and DM15 (Sustainable Transport Management)
- 6.4 Design & Townscape Guide (2009)
- 6.5 CIL Charging Schedule 2015

7 **Representation Summary**

Leigh Town Council

- 7.1 No response received at time of writing
- 7.2 Eight neighbours have been notified of the application. No letters of representation have been received.

8 **Relevant Planning History**

- 8.1 None

9 **Recommendation**

Members are recommended to:

GRANT PERMISSION, subject to the following conditions:

- 01 **The development hereby permitted shall begin no later than three years from the date of this decision.**

Reason: Required to be imposed pursuant to Section 91 of the Town and Country Planning Act 1990.

- 02 The development hereby permitted shall be carried out in accordance with the following approved plans: Location plan, EX1, EX2, EX3, EX4, 17.06.200.PL, 17.06.201.PL, 17.06.202.PL, 17.06.203.PL, 17.06.204.PL, 17.06.205.PL, 17.06.206.PL, 17.06.2017.PL

Reason: To ensure that the development is carried out in accordance with the provisions of the Development Plan.

- 03 The development hereby permitted shall be finished in materials as detailed within the application form and approved plans: Location plan, EX1, EX2, EX3, EX4, 17.06.200.PL, 17.06.201.PL, 17.06.202.PL, 17.06.203.PL, 17.06.204.PL, 17.06.205.PL, 17.06.206.PL, 17.06.2017.PL.

Reason: In the interests of visual amenity and to ensure that the appearance of the building makes a positive contribution to the character and appearance of the area. This is as set out in the National Planning Policy Framework (NPPF), Core Strategy (2007) policy KP2 and CP4, Development Management Document policy DM1, and the Design and Townscape Guide (2009).

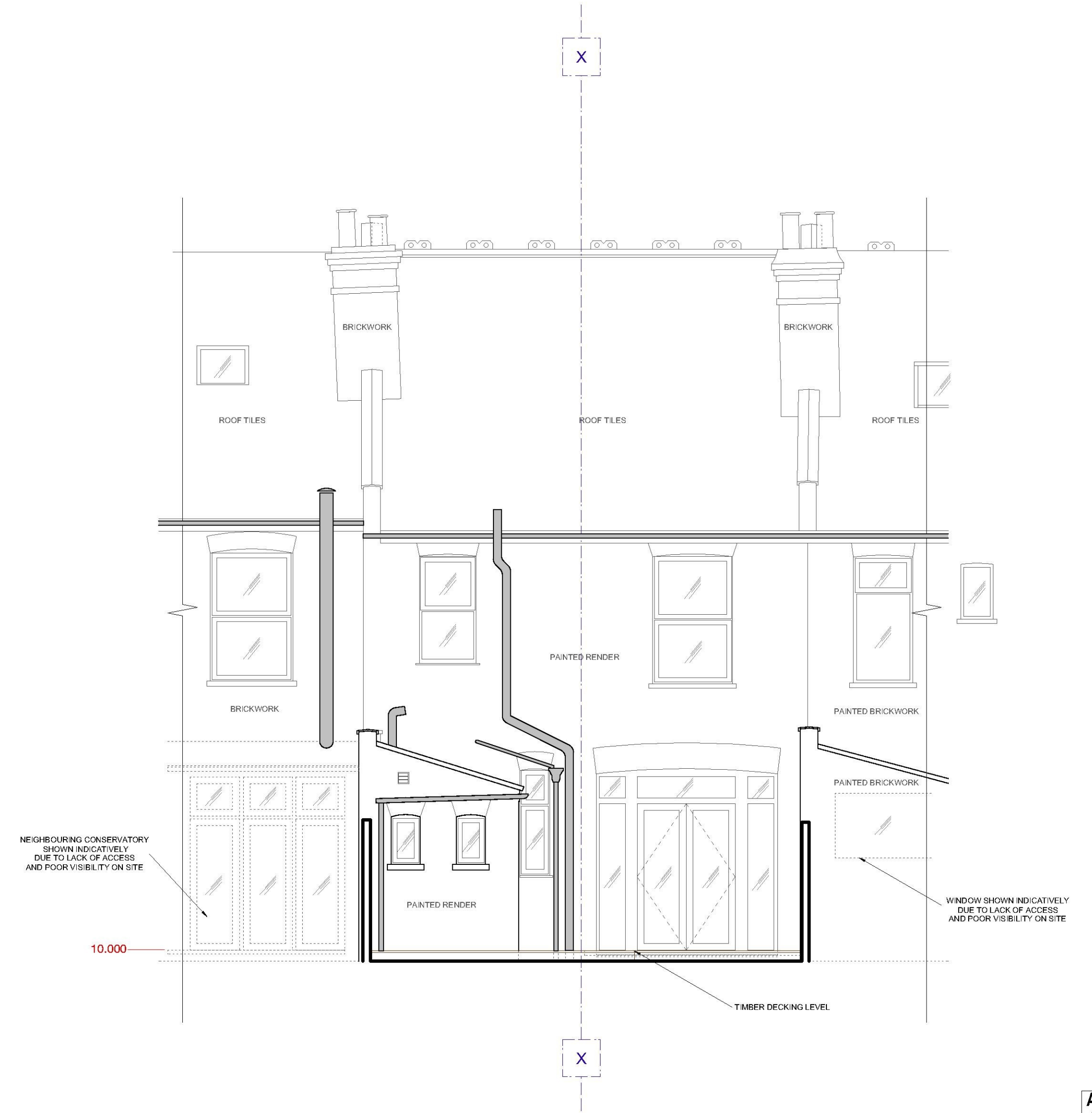
Informative

1. You are advised that as the proposed development equates to less than 100sqm of new floorspace the development benefits from a Minor Development Exemption under the Community Infrastructure Levy Regulations 2010 (as amended) and as such no charge is payable. See www.southend.gov.uk/cil for further details about CIL.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework. The detailed analysis is set out in a report on the application prepared by officers.



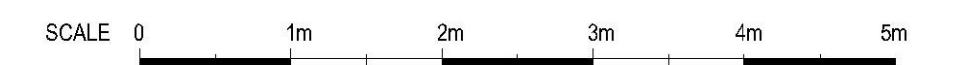
FRONT ELEVATION



REAR ELEVATION

ABBREVIATION LIST

AL	ALARM BOX
C	CEILING HEIGHT
STR C	STRUCTURAL CEILING H
G	SUSPENDED CEILING GRID
B	FLOOR TO BEAM HEIGHT
H	HEIGHT
HH	HEAD HEIGHT
P	PURLIN HEIGHT
OH	OPENING HEIGHT
EM	ELECTRIC METER
FFL	FINISHED FLOOR LEVEL
FB	FUSE BOX
GM	GAS METER
EM	ELECTRIC METER
RWP	RAIN WATER PIPE
DP	DOWN PIPE
SH	SILL HEIGHT
SVP	SOIL & VENT PIPE
WP	WASTE PIPE
UTL	UNABLE TO LIFT
IL	INVERT LEVEL
CL	COVER LEVEL
TOW	TOP OF THE WALL
AD	ABOVE DATUM
J	HEIGHT- FLOOR TO JOIST
JH	JOIST HEIGHT



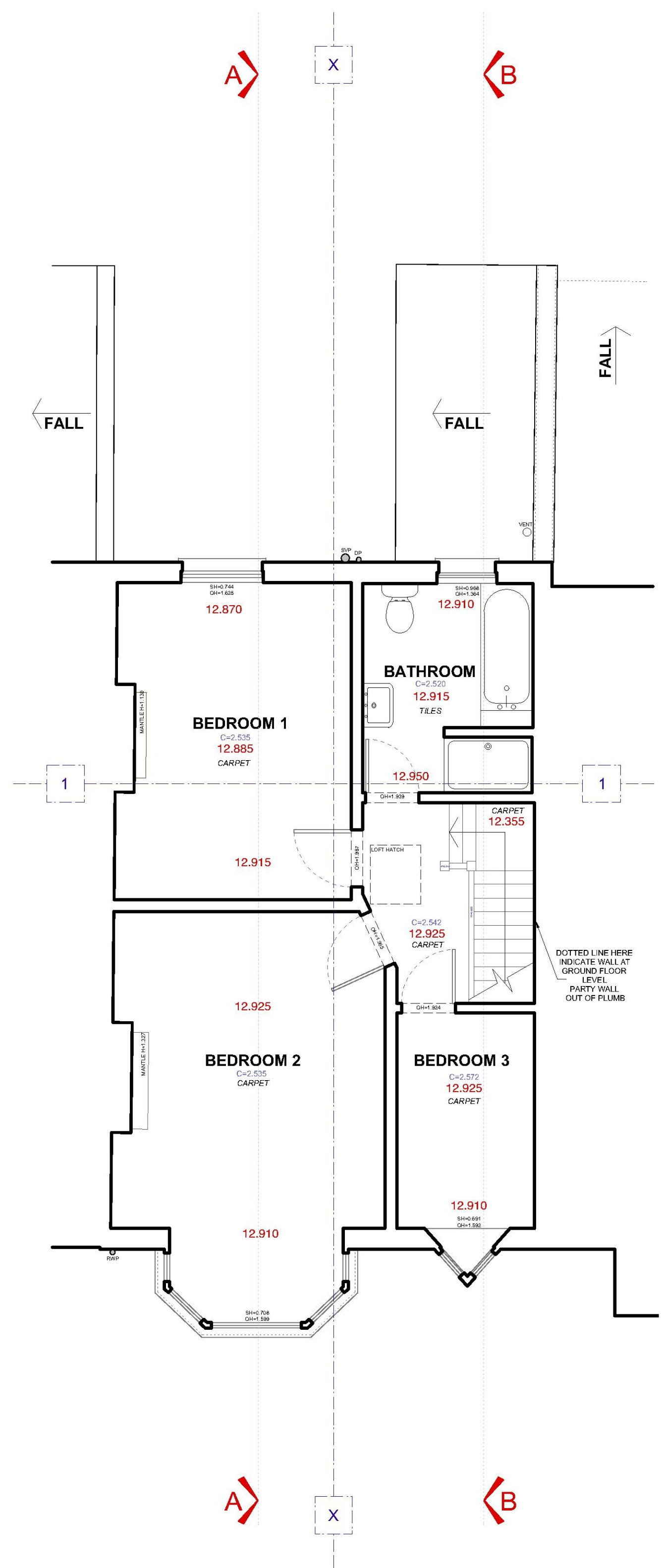
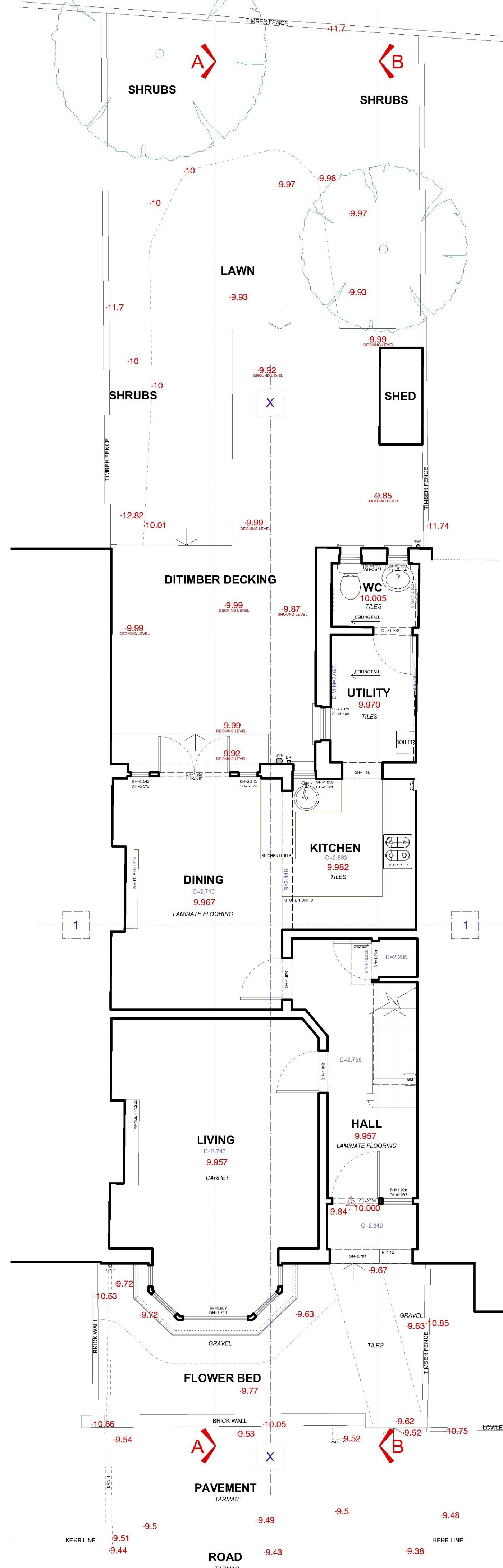
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LOCATED AT FRONT ENTRANCE DOOR -
THRESHOLD LEVEL 10.000

NOTES:
THE SURVEY GRID IS BASED ON ARBITRARY COORDINATES
EVERY EFFORT IS MADE TO IDENTIFY ALL VISIBLE ABOVE GROUND
FEATURES, HOWEVER IT SHOULD BE BORNE IN MIND THAT
THERE MAY BE ITEMS OBSCURED AT THE TIME OF SURVEY

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34 Oakleigh Park Drive, Leigh-on-Sea SS9 1RP			
DRAWING NAME			
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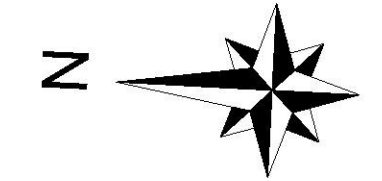


ABBREVIATION LIST

AL	ALARM BOX
C	CEILING HEIGHT
STR C	STRUCTURAL CEILING H
G	SUSPENDED CEILING GRID H
B	FLOOR TO BEAM HEIGHT
H	HEIGHT
HH	HEAD HEIGHT
P	PURLIN HEIGHT
OH	OPENING HEIGHT
EM	ELECTRIC METER
EM	ELECTRIC METER
FFL	FINISHED FLOOR LEVEL
FB	FUSE BOX
GM	GAS METER
EM	ELECTRIC METER
RWP	RAIN WATER PIPE
DP	DOWN PIPE
SH	SILL HEIGHT
SVP	SOIL & VENT PIPE
WP	WASTE PIPE
UTL	UNABLE TO LIFT
IL	INVERT LEVEL
CL	COVER LEVEL
T&W	TOP OF THE WALL
AD	ABOVE DATUM
J	HEIGHT- FLOOR TO JOIST
JH	JOIST HEIGHT



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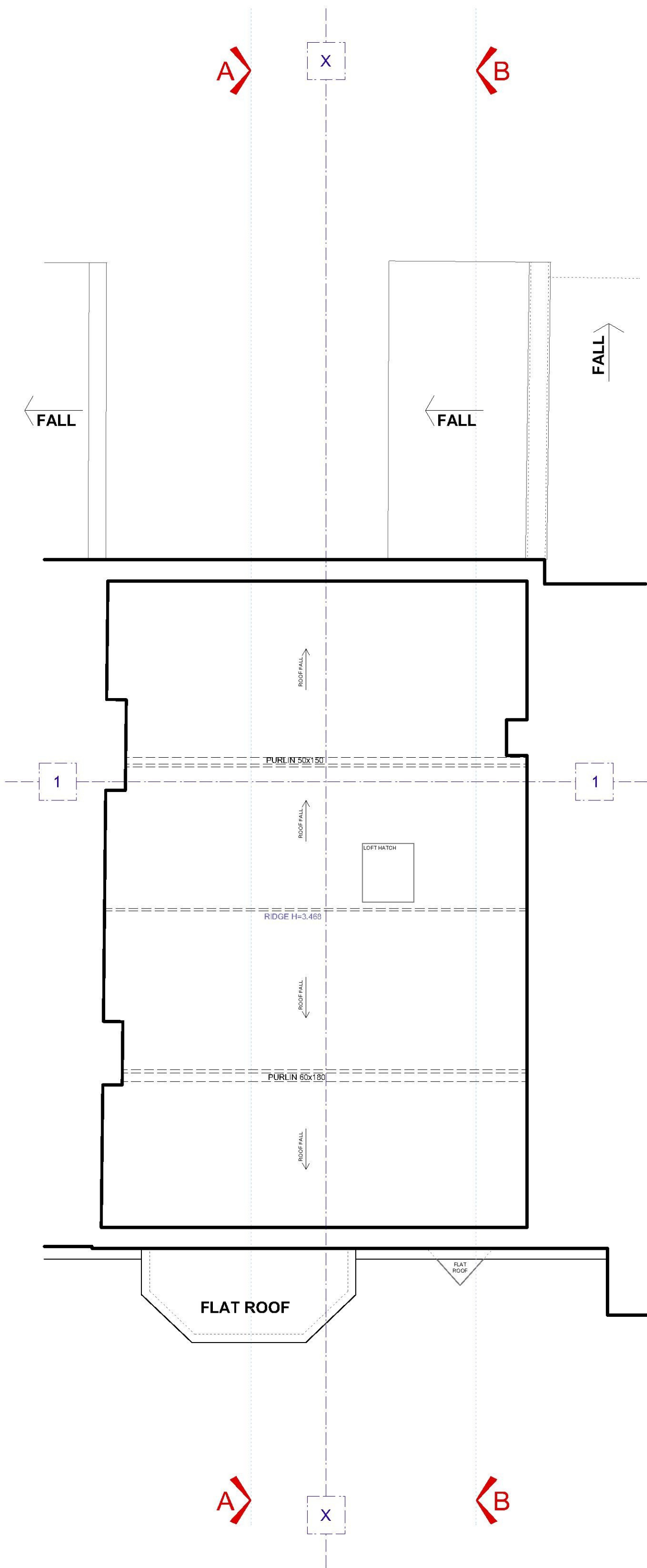


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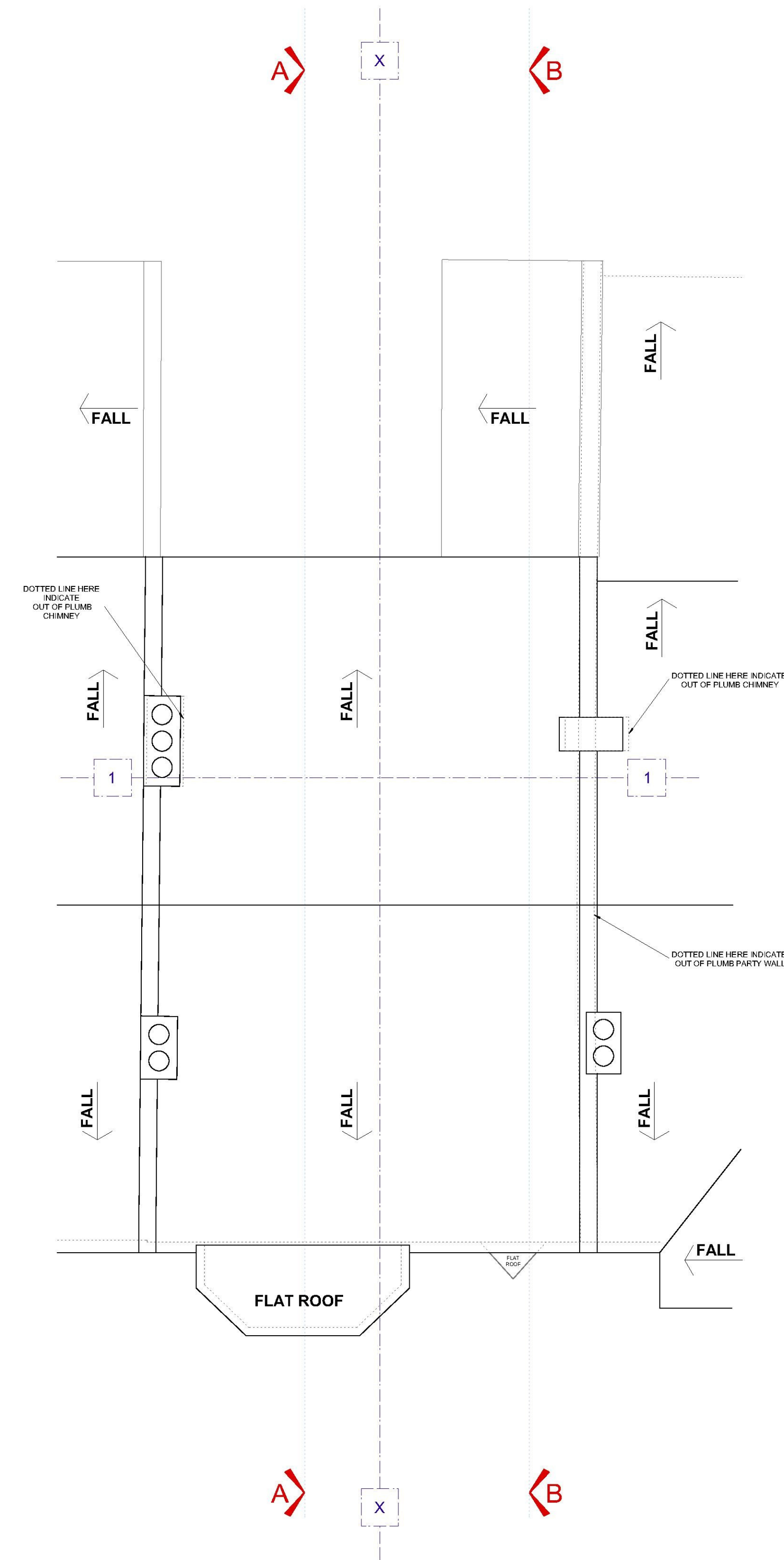
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PROJECT NAME AND ADDRESS			
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DRAWING NAME			
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LOFT PLAN



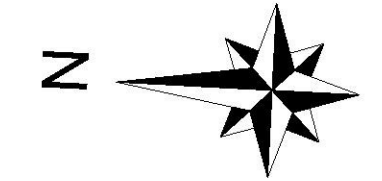
ROOF PLAN

ABBREVIATION LIST

AL	ALARM BOX
C	CEILING HEIGHT
STR C	STRUCTURAL CEILING H
G	SUSPENDED CEILING GRID H
B	FLOOR TO BEAM HEIGHT
H	HEIGHT
HH	HEAD HEIGHT
P	PURLIN HEIGHT
OH	OPENING HEIGHT
EM	ELECTRIC METER
FFL	FINISHED FLOOR LEVEL
FB	FUSE BOX
GM	GAS METER
EM	ELECTRIC METER
RWP	RAIN WATER PIPE
DP	DOWN PIPE
SH	SILL HEIGHT
SVP	SOIL & VENT PIPE
WP	WASTE PIPE
UTL	UNABLE TO LIFT
IL	INVERT LEVEL
CL	COVER LEVEL
T&W	TOP OF THE WALL
AD	ABOVE DATUM
J	HEIGHT- FLOOR TO JOIST
JH	JOIST HEIGHT



SCALE 1:50@A1, 1:100@A3



ARBITRARY DATUM LOCATED AT FRONT ENTRANCE DOOR - THRESHOLD LEVEL 10.000

NOTES:
THE SURVEY GRID IS BASED ON ARBITRARY COORDINATES
EVERY EFFORT IS MADE TO IDENTIFY ALL VISIBLE ABOVE GROUND FEATURES, HOWEVER IT SHOULD BE BORNE IN MIND THAT THERE MAY BE ITEMS OBSCURED AT THE TIME OF SURVEY

PROJECT NAME AND ADDRESS			
34 Oakleigh Park Drive, Leigh-on-Sea SS9 1RP			
DRAWING NAME			
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	SURVEYED BY	JOB NUMBER	
ALL DIMENSIONS TO BE CHECKED ON SITE DISCREPANCIES TO BE REFERRED TO AUTHOR. DO NOT SCALE OFF THIS DRAWING.			

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SECTION A-A



SECTION B-B

ABBREVIATION LIST

AL	ALARM BOX
C	CEILING HEIGHT
STR C	STRUCTURAL CEILING H
G	SUSPENDED CEILING GRID H
B	FLOOR TO BEAM HEIGHT
H	HEIGHT
HH	HEAD HEIGHT
P	PURLIN HEIGHT
OH	OPENING HEIGHT
EM	ELECTRIC METER
FFL	FINISHED FLOOR LEVEL
FB	FUSE BOX
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IL	INVERT LEVEL
CL	COVER LEVEL
T&W	TOP OF THE WALL
AD	ABOVE DATUM
J	HEIGHT- FLOOR TO JOIST
JH	JOIST HEIGHT



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PROJECT NAME AND ADDRESS			
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DRAWING NAME			
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34, Oakleigh Park Drive, Leigh-on-sea, Southend-on-sea, SS9 1RP



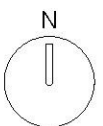
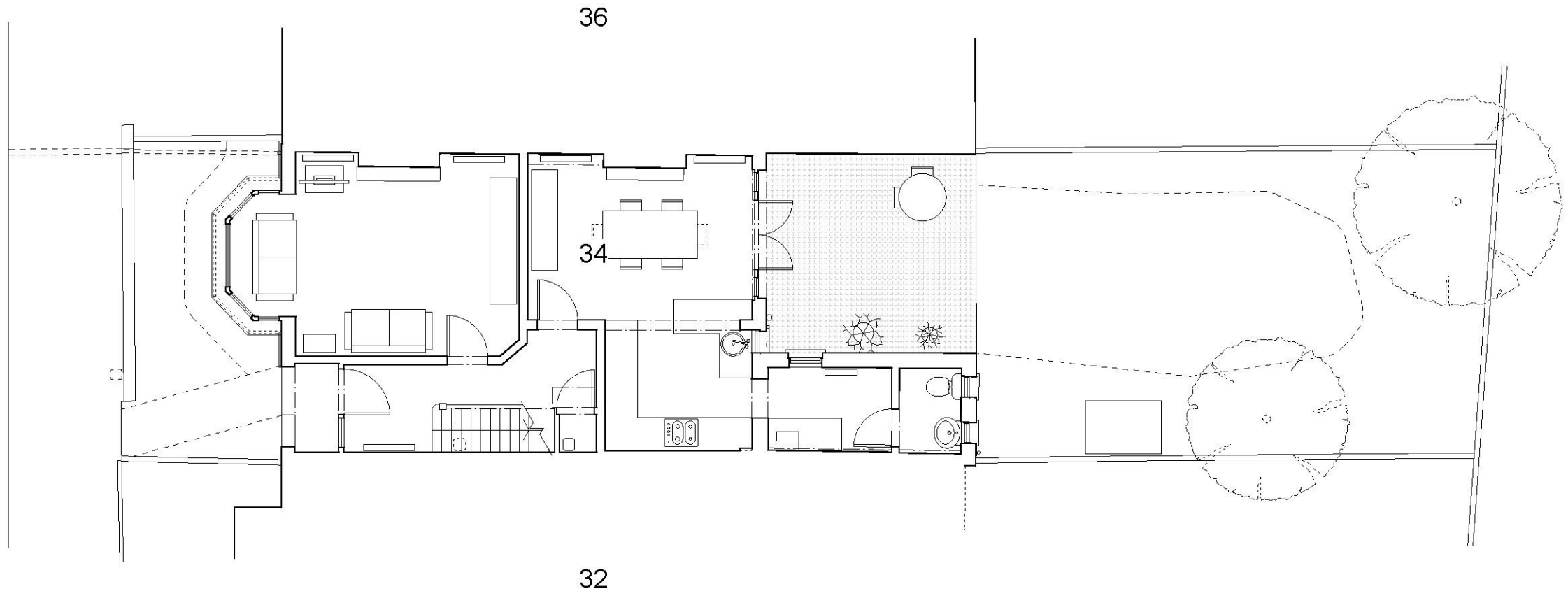
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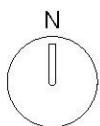
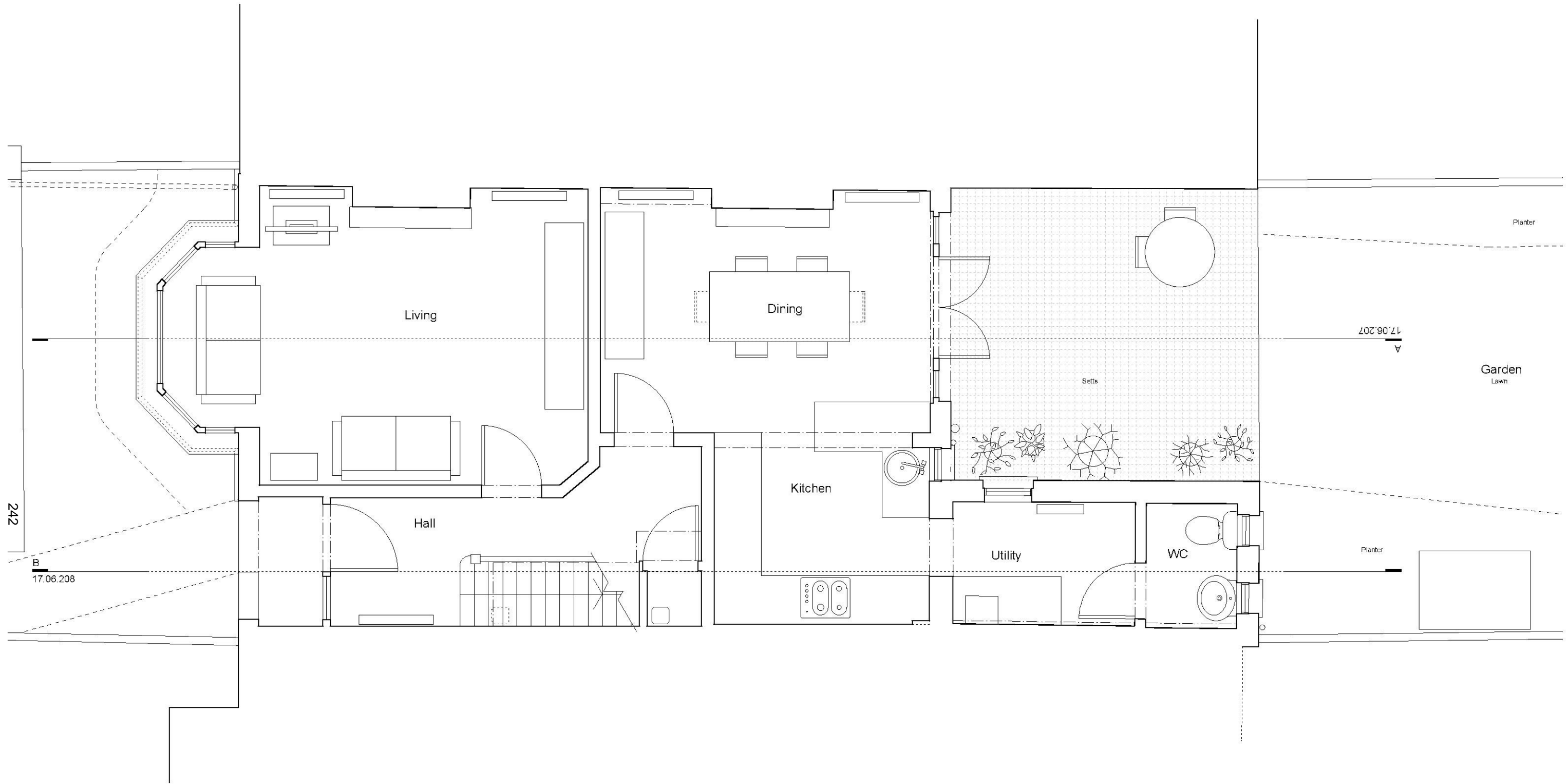
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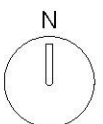
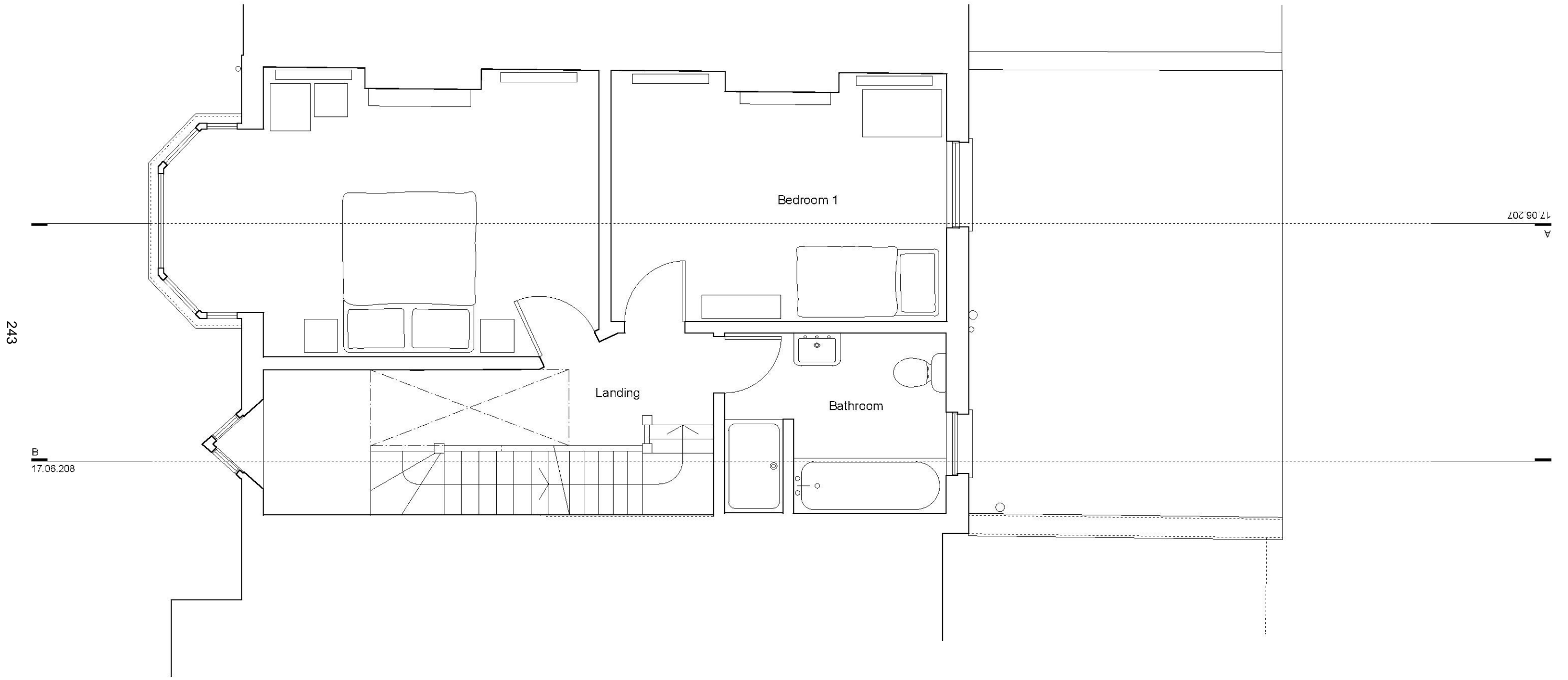
Oakleigh Park Drive



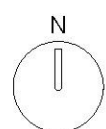
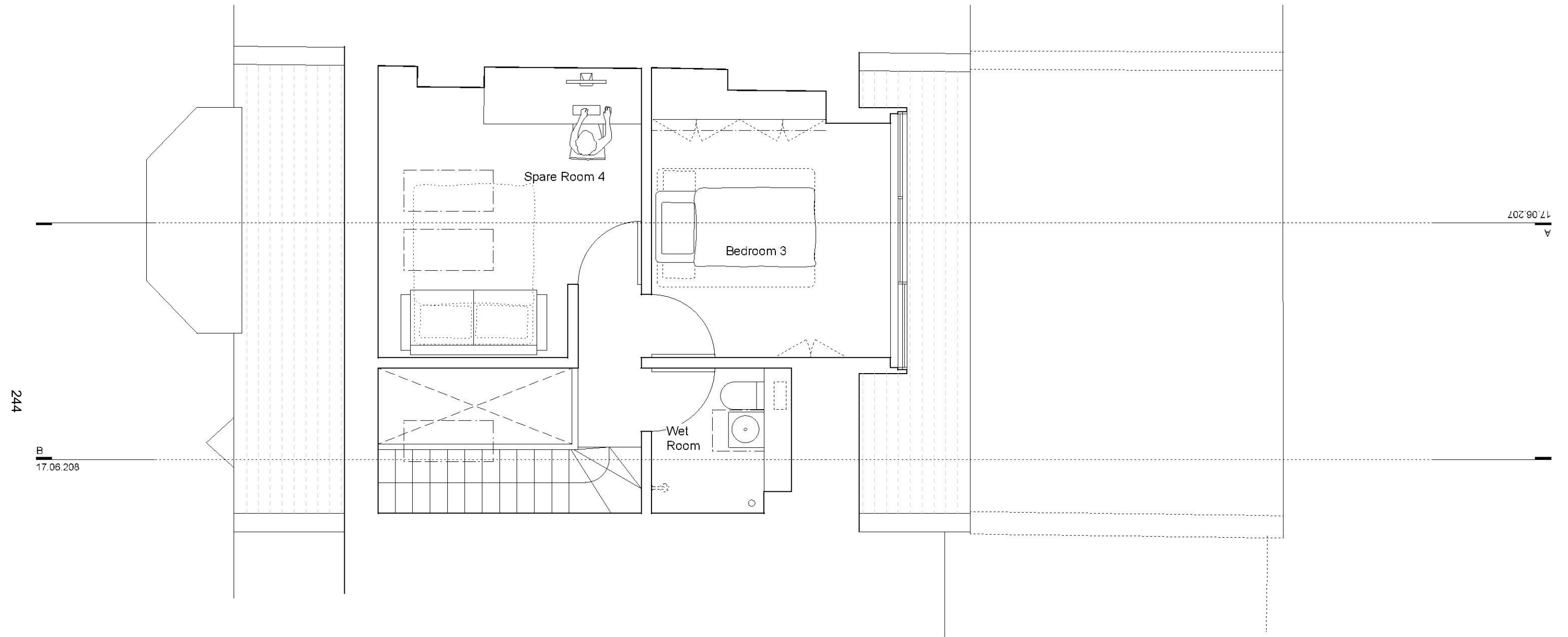
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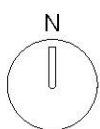
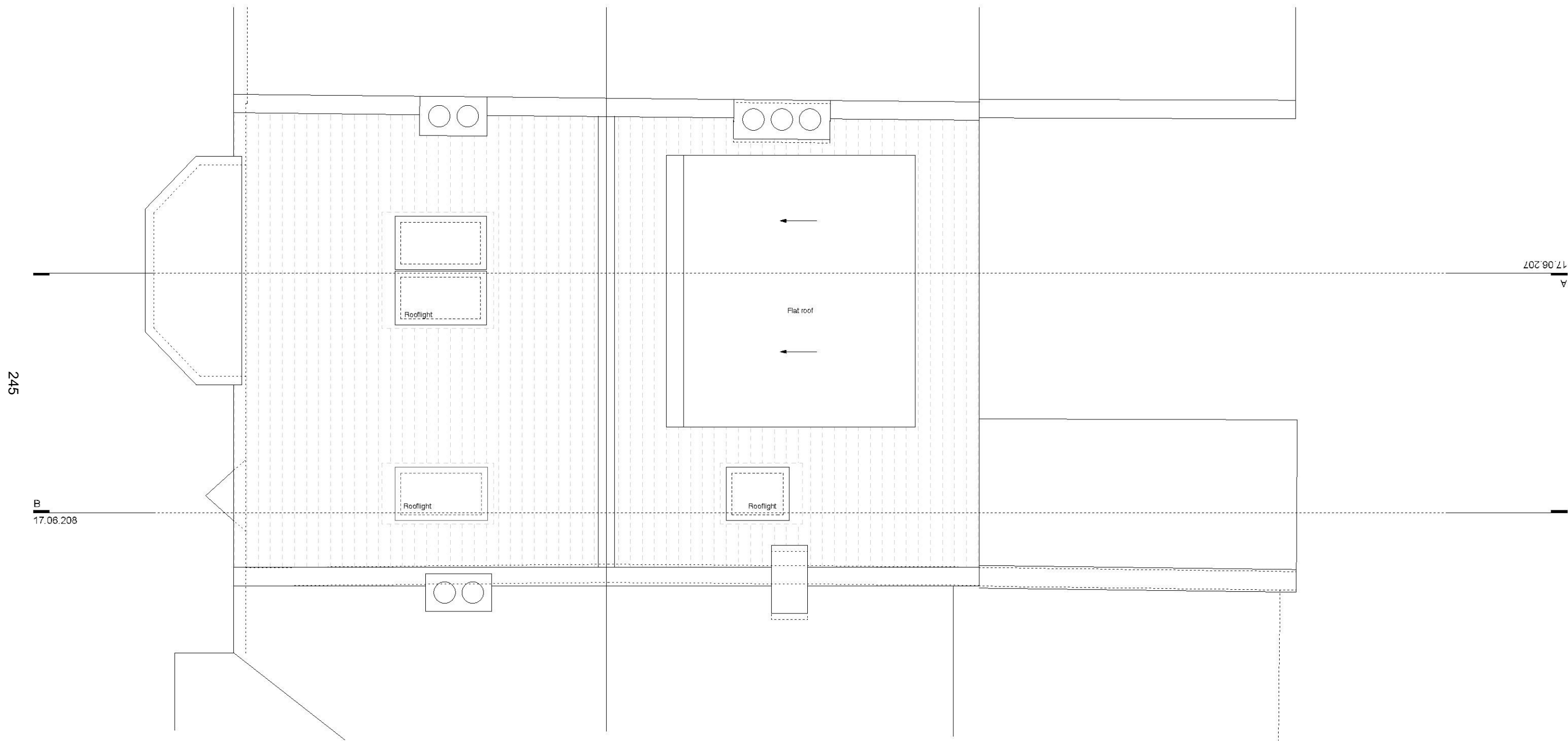
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EDRM www.edrm.co.uk	Title Loft Plan Proposed	Drawing no. 17.06.204.PL	Rev -
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EDRM

www.edrm.co.uk

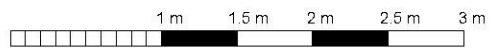
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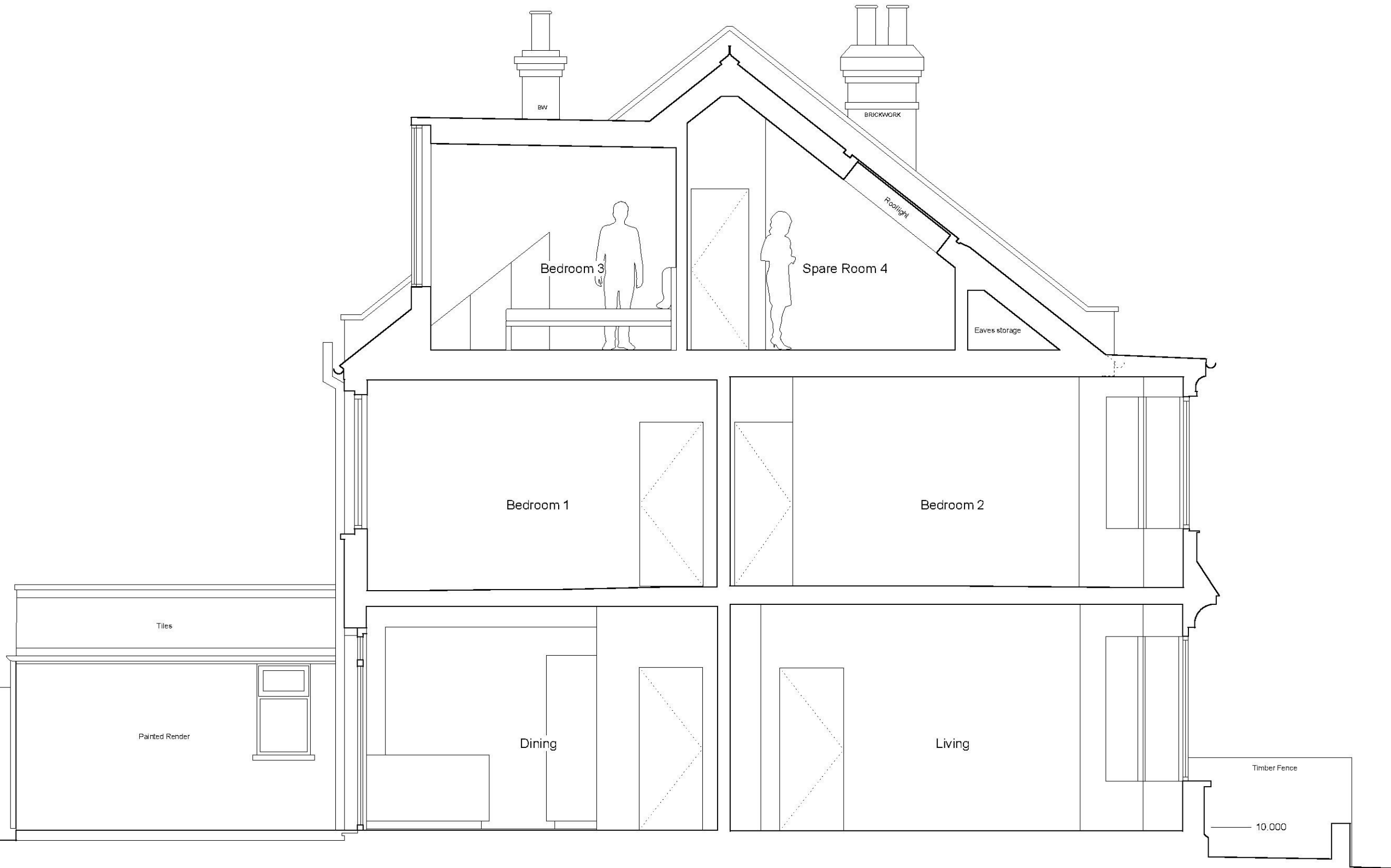
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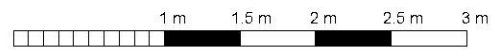
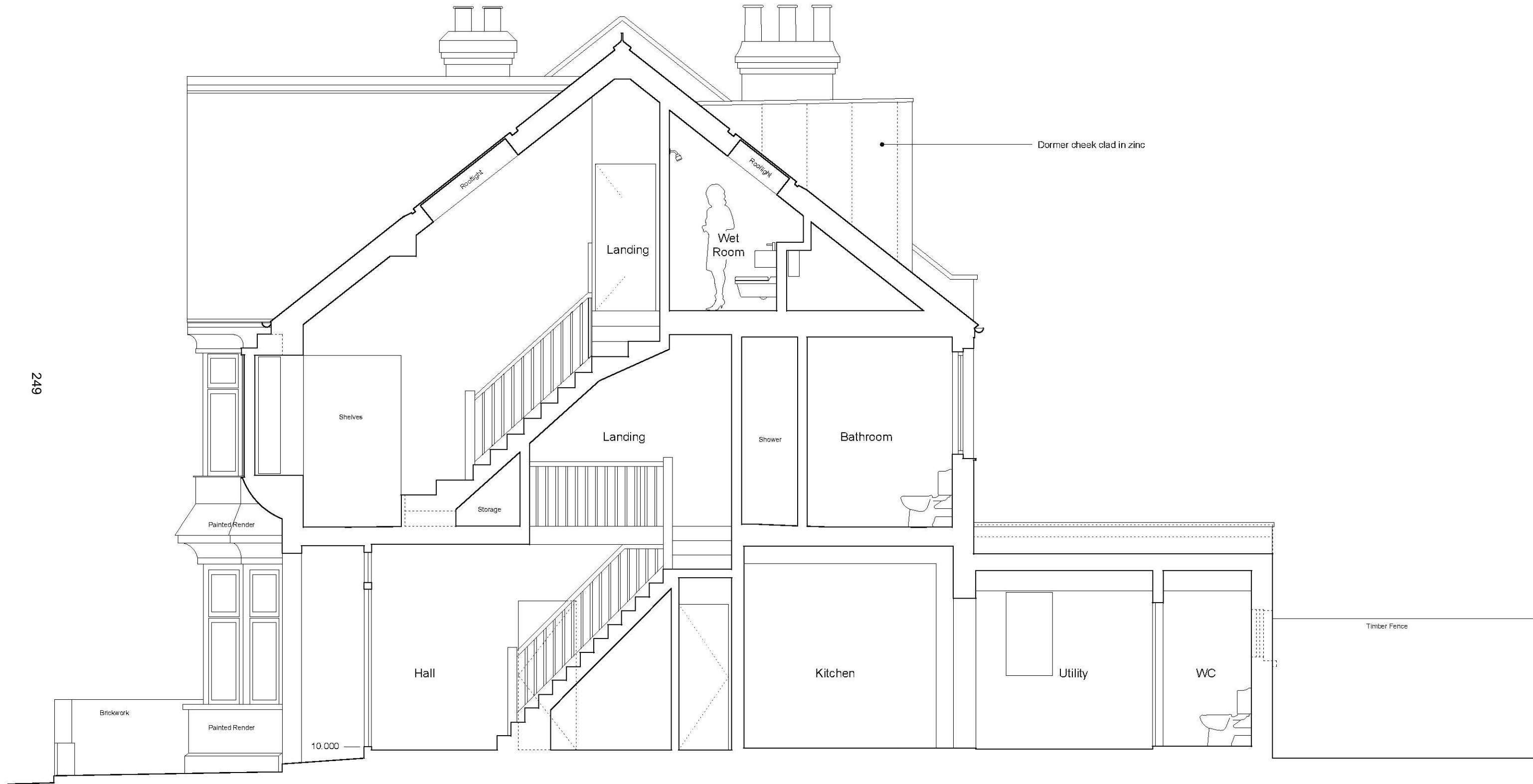
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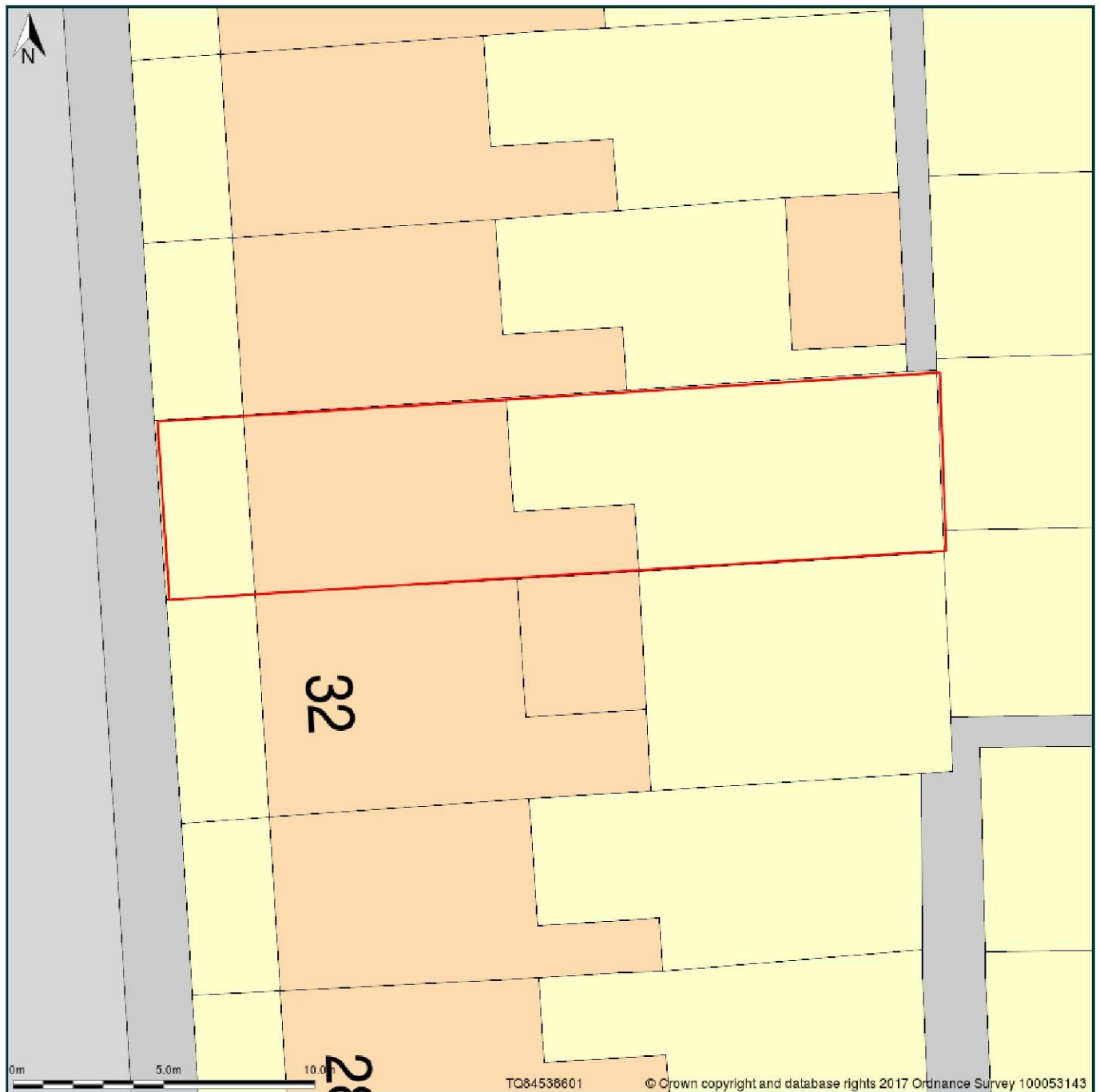
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EDRM www.edrm.co.uk	Title Section B Propsoed	Drawing no. 17.06.208.PL	Rev -
	Project 34 Oakleigh Park Drive, SS9 1RP	Date 09.17	Scale 1.50 @ A3

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34, Oakleigh Park Drive, Leigh-on-sea, Southend-on-sea, SS9 1RP



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